

MAIDENHEAD DEVELOPMENT CONTROL PANEL

16 October 2019

Item: 4

Application No.:	19/01623/FULL
Location:	Cruchfield Manor Ascot Road Warfield Bracknell RG42 6HJ
Proposal:	Conversion of the southern wing of the existing stable block to ancillary residential accommodation including alterations to fenestration to the coach house.
Applicant:	Mrs Brunander
Agent:	Mr Christopher Gregory
Parish/Ward:	Bray Parish/Bray

If you have a question about this report, please contact: Antonia Liu on 01628 796034 or at antonia.liu@rbwm.gov.uk

1. SUMMARY

- 1.1 The proposal is for the conversion of the southern wing of the existing stable block to ancillary residential accommodation including alterations to fenestration. The site lies within Green Belt, and the main Manor house is listed Grade II and so the existing stable block is considered to be curtilage listed.
- 1.2 The proposal is considered to be appropriate development in the Green Belt and would not result in harm to the openness of the Green Belt nor conflict with the purposes of including land within the Green Belt. It is also considered that the proposal would not result in harm to the special character and appearance of the original building, the setting of the Manor House, or the wider locality. In relation to the benefits of the scheme, while partially in use, the existing coach house and stable building is underutilised and it is considered that the proposal would better secure its long-term upkeep and thereby the longevity of the Grade II listed building.
- 1.3 The proposal is acceptable in respect of highway safety and parking with acceptable access and parking provision. There would be no harm to neighbouring amenity due to the significant separation distance from the nearest residential neighbours. There is no objection in respect of sustainable drainage.
- 1.4 On balance, it is considered that the proposal would comply with relevant planning policies and it is considered that any adverse impacts of the proposal are significantly and demonstrably outweighed by its benefits.

It is recommended the Panel GRANTS planning permission with the conditions listed in Section 12 of this report.

2. REASON FOR PANEL DETERMINATION

- The Council's Constitution does not give the Head of Planning delegated powers to determine the application in the way recommended; such decisions can only be made by the Panel.
- At the request of Councillor Walters if the recommendation is to grant the application in the public interest

3. DESCRIPTION OF THE SITE AND ITS SURROUNDINGS

- 3.1 The site measures approximately 1.5ha and comprises of Cruchfield Manor, which is situated on the north side of Ascot Road. Cruchfield Manor is a large country house comprising of an 18th century core with extensive 19th and 20th century additions and alterations. The house is currently occupied and in good condition. Within the grounds are ancillary buildings including a single storey detached cottage, a coach house and stables with a hayloft and residential accommodation above, two barns, and a further stable block (northern yard). These ancillary buildings are located to the east of the Manor house and form a distinctive group. The ancillary

buildings are in partial use but all are in a reasonable condition. To the north and east of the Manor House is an extensive well-kept garden. To the south and east of the Manor house is a gravel driveway and parking area served by two vehicular accesses to the south and south-east. The wider surrounds comprises of agricultural land with some intermittent residential development.

- 3.2 It should be noted that the site straddles the boundary between the Royal Borough of Windsor and Maidenhead and Bracknell Forest. A section of the barn, part of the driveway and the two entrances to the south and south-east of the site therefore lies within Bracknell Forest Council.

4. KEY CONSTRAINTS

- 4.1 The site lies within the Metropolitan Green Belt, and Cruchfield Manor was added to the statutory list of buildings of special architectural or historic interest by the Secretary of State in 1972 and is Grade II listed (ref: 1312899). The ancillary buildings, including the existing coach house and stables block, are considered to be curtilage listed.

5. DESCRIPTION OF THE PROPOSAL AND ANY RELEVANT PLANNING HISTORY

- 5.1 The applicant seeks planning permission for the conversion of the southern wing of the existing stable block to ancillary residential accommodation including alterations to fenestration to the coach house. The remainder of the building would be retained as stables and a storage barn.
- 5.2 The intention is for the family to live in the converted coach house and stable building while the Manor house is renovated and restored. Once the renovation and restoration works to the Manor house have been completed, the family will move into the Manor house with the converted coach house and stable building being used as staff accommodation.
- 5.3 In relation to the subject building relevant planning history is as follows:

Application Ref	Description of Works	Decision and Date
98/32839/FULL	Conversion of part of adjacent coach house into 2-bed dwelling	Approved – 17.08.1999
98/32837/LBC	Conversion of part of adjacent coach house into 2-bed dwelling	Approved – 18.08.1999

- 5.4 There is also an associated application for listed building consent for the conversion of the southern wing of the existing coach house and stable to ancillary residential accommodation including alterations to fenestration, ref: 19/01624/LBC which appears elsewhere on this agenda.

6. DEVELOPMENT PLAN

Adopted Royal Borough Local Plan (2003)

The main Development Plan policies applying to the site are:

Issue	Adopted Local Plan Policy
Appropriate Development in the Green Belt and impact on Openness	GB1, GB2, GB8
Design in keeping with character and appearance of area	DG1
Impact on Historic Environment	LB2
Trees	N6
Highways	P4, T5

These policies can be found at

https://www3.rbwm.gov.uk/downloads/download/154/local_plan_documents_and_appendices

7. MATERIAL PLANNING CONSIDERATIONS

National Planning Policy Framework Sections (NPPF) (2019)

Section 2 – Achieving Sustainable Development
Section 4 – Decision-Making
Section 9 – Promoting Sustainable Transport
Section 12 – Achieving Well-Designed Places
Section 13 – Protecting the Green Belt Land
Section 15 – Conserving and Enhancing the Natural Environment
Section 16 – Conserving and Enhancing the Historic Environment

Borough Local Plan: Submission Version

Issue	Local Plan Policy
Appropriate Development in the Green Belt and Impact on Openness	SP5
Design in keeping with character and appearance of area	SP2, SP3
Impact on Historic Environment	HE1
Impact on Trees and Nature Conservation	NR2, NR3
Highway Safety and Parking	IF2
Infrastructure	IF8

The NPPF sets out that decision-makers may give weight to relevant policies in emerging plans according to their stage of preparation. The Borough Local Plan Submission Document was published in June 2017. Public consultation ran from 30 June to 27 September 2017. Following this process the Council prepared a report summarising the issues raised in the representations and setting out its response to them. This report, together with all the representations received during the representation period, the plan and its supporting documents have now been submitted to the Secretary of State for examination. The Submission Version of the Borough Local Plan does not form part of the statutory development plan for the Borough. However, by publishing and submitting the Borough Local Plan for independent examination the Council has formally confirmed its intention to adopt the submission version. As the Council considers the emerging Borough Local Plan to be sound and legally compliant, officers and Councillors should accord relevant policies and allocations significant weight in the determination of applications taking account of the extent to which there are unresolved objections to relevant policies. Therefore, the weight afforded to each policy at this stage will differ depending on the level and type of representation to that policy. This is addressed in more detail in the assessment below.

This document can be found at:

https://www3.rbwm.gov.uk/info/201026/borough_local_plan/1351/submission/1

Other Local Strategies or Publications

Other strategies and publications relevant to the proposal are:

- RBWM Parking Strategy

8. CONSULTATIONS CARRIED OUT

Comments from interested parties

The planning officer posted a notice advertising the application at the site on 25 July 2019 and the application was advertised in the Local Press on 1 August 2019. No letters of representation either supporting or objecting to the proposal were received.

Consultees

Consultee	Comment	Where in the report this is considered
Arboriculture Officer	No objection subject to condition for tree protection measures to be submitted, approved and implemented.	Noted and condition recommended.

Conservation Officer	<p>No objection subject to conditions relating to additional details to be submitted and approved by the local planning authority relating to:</p> <ol style="list-style-type: none"> 1. Detailed design, construction, glazing and colour/ finish of the new windows and external doors to be submitted for approval at a scale of 1:10, 1:5 or the full size as appropriate 2. All windows to be traditionally constructed and of painted timber 3. All external rainwater goods and pipework to be of painted cast metal 4. Details of the design, construction and materials of the infill screens to the coach house internal arches and openings; and details of the new opening between the dining room and lounge at a scale of 1:10, 1:5 or the full size as appropriate 5. Manufacturer's details of the rooflights to be submitted 6. Details of the works to the floors at ground and first floor, including the floating floor construction and method of protecting brick floors 7. Details of new internal joinery at a scale of 1:10, 1:5 and to full scale as appropriate 8. Details of insulation to walls and roof structure and final finishes 9. Details of the location and external appearance of all new flues, vents and grills. 	<p>The conditions are recommended for the associated Listed Building Consent ref: 19/01624/LBC, which would have to be implemented if the works under this application are carried out.</p> <p>Furthermore, given the level of detail required, and as some relate to internal works which cannot be considered as part of the FULL application, the conditions are not considered to pass the test of reasonableness nor necessity for planning permission with the exception of:</p> <ol style="list-style-type: none"> 10. all windows to be traditionally constructed and of painted timber; 11. external rainwater goods and pipework to be painted cast metal; and 12. the location and appearance of any flues, vents and grills. <p>These conditions are recommended.</p>
Environmental Protection	<p>No objection subject to conditions relating to construction hours, collection during construction and demolition and animal waste; and informatives relating to dust control and smoke control.</p>	<p>Construction hours are normally included as an informative as noise and disturbance is dealt with under EP legislation. It is not considered that conditions relating to collections and deliveries, or animal waste would pass the tests of necessity or reasonableness. Informatives agreed and recommended.</p>
Highway Officer	<p>No objection subject to conditions relating to parking and turning to be submitted and approved, and informatives relating to damage to footway and verges, damage to the highway, incidental works licence and no storage of equipment or materials on the public highway.</p>	<p>Noted. Given that the existing parking area to the south and east of the Manor House measures approximately 960sqm, it is considered that more than sufficient parking to meet</p>

		requirements can easily be provided on site without a formal parking and turning area. The condition is not considered to pass the test of necessity.
Lead Local Flood Authority	No objection subject to appropriate surface water drainage provisions complying with Building Regulations.	Noted.
Parish Council	Delegates decision to Conservation Officer	See Conservation Officer comments above, and section ii of this report.

9. EXPLANATION OF RECOMMENDATION

9.1 The key issues for consideration are:

- i Green Belt
- ii Character and Appearance Including Impact on Special Character
- iii Highway Safety and Parking
- iv Neighbouring Amenity
- v Sustainable Drainage
- vi Planning Balance

i **Green Belt**

9.2 The existing coach house and stable building is sited with the Green Belt and the fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open. Development in the Green Belt should be regarded as inappropriate with some exceptions, which in relation to new buildings are outlined in paragraph 145, and for certain other development in paragraph 146 of the NPPF. For other development the following would not be inappropriate in the Green Belt provided they preserve its openness and do not conflict with the purposes of including land within it:

- mineral extraction;
- engineering operations;
- local transport infrastructure which can demonstrate a requirement for a Green Belt location
- the re-use of buildings provided that the buildings are of permanent and substantial construction
- material changes in the use of land (such as changes of use for outdoor sports or recreation, or for cemeteries and burial grounds); and
- development brought forward under a Community Right to Build Order or Neighbourhood Development Order.

9.3 Local Plan policies GB1 and GB3 and BLPSV policy SP5 also set out appropriate development in the Green Belt, however, the Local Plan was prepared in accordance with the cancelled PPG2: Green Belts while the BLPSV was prepared in accordance with the NPPF (2012). The NPPF is considered to be a more up-to-date expression of Government intent and is afforded significant weight as a material consideration. While the Development Plan comprises of the Local Plan, policies GB1 and GB3 are not entirely consistent with the NPPF and are not given full weight for the purposes of this assessment. Under transitional arrangements the BLPSV is assessed against the NPPF (2012) and therefore policy SP5 is considered to be consistent in this respect,

but due to unresolved objections policy SP5 should only be given moderate weight as a material consideration.

- 9.4 In this case, the proposal involves the re-use of an existing building. In terms of whether the existing building is of a permanent construction, while no structural information has been submitted, it was noted during a site visit that the buildings comprise of brick walls and floors, timber doors and windows, and tiled roofs all of which are in reasonable condition. In terms of whether the existing building is substantial, the existing building measures approximately 863sqm in footprint, with 947sqm of floorspace over two storeys with a maximum ridge height of 8m. The proposal is for the conversion of part of the existing building, comprising of 165sqm on the ground floor and 84sqm on the first floor. As such, the building is considered to represent a permanent and substantial structure that would enable conversion works without complete or major reconstruction, or extensions. The proposal would therefore be a genuine re-use of the building. In relation to preserving the openness of the Green Belt, alterations to facilitate the conversion would be contained within the existing built envelope. No extensions are proposed. Furthermore, as ancillary residential accommodation it is not anticipated that there would be additional fences demarcating a domestic curtilage or domestic paraphernalia associated with an independent dwelling that would detract from openness. It is therefore considered that the proposal would preserve the openness of the Green Belt and would not conflict with the purposes of including land within the Green Belt, including safeguarding the countryside from encroachment. For these reasons, it is considered that the proposal to convert the coach house, and stable building into ancillary residential accommodation would represent appropriate development in the Green Belt in accordance with paragraph 146(d) of the NPPF.

ii Character and Appearance Including Impact on Special Character

- 9.5 Local Plan policy DG1 states that new development should not cause harm to the character of the surrounding area through development which results in the loss of important features that contribute to that character. As a material consideration of significant weight, BLPSV policy SP2 states that new development should positively contribute to places in which they are located while policy SP3 outlines design principles which represent high quality design which new development is expected to achieve. This includes preserving and enhancing the local character with regard to urban grain, layout, density, scale, bulk, massing, and materials; incorporating interesting frontages and design details to provide visual interest; provision of high quality soft and hard landscaping and amenity space; and to ensure no unacceptable harm to neighbouring amenity. Local Plan policy DG1 and BLPSV policies SP2 and SP3 are considered to be in line with paragraphs 124 and 130 of the NPPF which advise that high quality buildings and places are fundamental to what planning should achieve and permission should be refused for development of poor design that fails to take the opportunity for improving the character and quality of the area.
- 9.6 With respect to the Planning (Listed Buildings and Conservation Areas) Act 1990 the applicable statutory provisions are: Section 16(2) which requires the local planning authority or the Secretary of State to have special regard to the desirability of preserving the building or its setting of any feature of special architectural or historic interest which it possesses when determining applications. Local Plan policy LB2 states that the Council will have special regard to the preservation of listed buildings and their setting. Local Plan policy LB3 states that the Council will also require that listed buildings are used for purposes which will secure their long-term future and which will preserve or enhance their special interest and character. As a material consideration, BLPSV policy H1 states that the historic environment including the heritage asset and their setting will be conserved and enhanced in a manner appropriate to its significance. Harm to the significance of a heritage asset or its setting will not be permitted without clear justification to show that the public benefit of the proposal considerably outweigh any harm to the significance or special interest of the heritage asset in question. As a further material consideration, paragraph 189 of the NPPF states that in determining applications the local planning authority should require an applicant to describe the significance of any heritage asset affected, including any contribution made by their setting. Paragraph 192 of the NPPF goes on to state that local planning authorities should take account of the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation. Also of relevance, paragraph 195 states that where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local

planning authorities should refuse consent unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefit that outweigh that harm or loss while paragraph 196 of the NPPF states that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset that harm should be weighed against the public benefit of the proposal including securing its optimum viable use.

- 9.7 In this case, the change of use to ancillary residential would not be unduly out of keeping given the primary residential use of the site. It is also considered that while partially in use, the building is currently underutilised for garaging and storage and it is considered that the proposal would better secure its long-term maintenance and thereby its longevity. However, while planning permission was granted in 1999 to convert the southern wing of the existing building into a two bed dwelling (ref: 98/32837/LBC), this permission was not implemented and so the use has historically been as ancillary stable and barn buildings to the Manor House and its form and appearance to date has largely evolved as such. There is evidence that there has been a stable and barn buildings in this location since the early 19th century to serve the 18th century Manor House. It is therefore considered important that they retain their appearance externally as secondary agricultural / service buildings not only in the interests of the character of the building itself but also in the interest of the special character and setting of the Manor house. It is considered that any external alterations that would have a distinctly 'residential character' would be unacceptable.
- 9.8 As a conversion the building would largely retain its existing form although some external changes are required to facilitate residential use. A number of larger window openings and rooflights are proposed which would be atypical of an agricultural / service building, but overall their size and placement are well-considered and would not detract from the historic appearance. In terms of construction and materials, the new windows would be traditionally constructed and detailed, and made from timber. They would be double glazed, but the proposal comprises of slim glazing which is considered acceptable in this particular structure. The rooflights are conservation in style and construction, and would be visually discreet. The style and materials of the replacement rainwater goods are considered to be sufficiently traditional and in keeping with the character of the building. Overall, the external alterations would not cause harm to the special character and appearance of the original building, the setting of the Manor House, or the wider locality in general in accordance with Local Plan policies DG1, LB2 and LB3, BLPSV policy H1, and paragraphs 189, 192, 195 and 196 of the NPPF.

iii Highway Safety and Parking

- 9.9 Local Plan policy T5 requires all development proposals to comply with adopted highway design standards, and policy P4 requires all development proposals to accord with adopted car parking standards. As a material consideration, BLPSV policy IF2 states that development proposals should support the policies and objectives of the Transport Strategy as set out in the Local Transport Plan and provide car and cycle parking in accordance with the current Parking Strategy. Given the lack of unresolved objections to policy IF2 it is considered that this policy should be afforded significant weight.
- 9.10 The site currently benefits from two vehicular accesses from the A330 Ascot Road. No changes are proposed to either access and both achieve the required visibility splays. The proposal is therefore considered acceptable in relation to highway safety.
- 9.11 No proposed parking layout has been submitted to demonstrate that sufficient parking can be provided on site. However, given that the existing parking area to the south and east of the Manor House measures approximately 960sqm, it is considered that more than sufficient space exists on site to provide the requisite parking.

iv Neighbouring Amenity

- 9.12 As a material consideration of significant weight, BLPSV policy SP3 requires development to have an acceptable effect on the amenities enjoyed by the occupants of adjoining properties in terms of privacy, light, disturbance, vibration, pollution, dust, smell and access to sunlight and daylight. As a further material consideration, paragraph 127 of the NPPF also states that planning decisions should ensure that development should achieve a high standard of amenity for existing and future users.
- 9.13 The nearest residential neighbours at The Old Gatehouse to the west and Cruchfield Manor Farm to the east are sited over 88m from the coach house and stable building. The separation distance is considered to sufficiently mitigate any undue overlooking, loss of light or visual intrusion to neighbouring residential properties. It is considered that the proposal is also unlikely to result in undue noise and disturbance given that the proposal is for ancillary residential use.

v Sustainable Drainage

- 9.14 Paragraph 165 of the NPPF states that major developments such as this should incorporate sustainable drainage systems unless there is clear evidence that this would be inappropriate. As the entire site measures over 1ha in accordance with Article 2(1) of the Town and Country Planning (Development Management Procedure) (England) Order 2015 this application would fall under the major development category. However, as the site is located in an area considered to be at low risk of surface water flooding, and the proposal is for a conversion and does not affect the building's footprint, it is considered that a sustainable drainage system would not be appropriate in this case.

vi Planning Balance

- 9.15 Paragraphs 10 and 11 of the NPPF set out that there will be a presumption in favour of Sustainable Development. The latter paragraph states that:

For decision-taking this means: approving development proposals that accord with an up-to-date development plan without delay; or where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless:

- i. the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or*
- ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.*

- 9.16 Footnote 6 of the NPPF (2019) clarifies that section d(i) of paragraph 11 of the NPPF (2019) is not applied where '*policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed*'. This includes land designated as Green Belt and designated heritage assets. However, for the reasons set out in sections i and ii the proposed development is not considered to represent inappropriate development in the Green Belt nor result in any loss of or harm to the significance of the designated heritage asset and therefore while the proposed development falls within a '*protect area(s) or assets of particular importance*' there is no clear reason for refusing the proposed development on this basis. Accordingly the 'tilted balance' is engaged. The assessment of this and the wider balancing exercise is set out below in the conclusion.

10. CONCLUSION

- 10.1 Paragraph 11 of the NPPF sets out that the presumption in favour of sustainable development applies and with regard to section vi of this report it is considered that the 'tilted balance' should be applied. This sets out that planning permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits when assessed against the policies in the NPPF taken as a whole.

- 10.2 It is considered that a change of use of part of the existing coach house and stable building would not result in harm to the openness of the Green Belt nor conflict with the purposes of including land within the Green Belt. It would therefore be appropriate development in the Green Belt.
- 10.3 The change of use to ancillary residential would not be out of keeping with the primary residential use of the site, while the conversion would largely retain its existing form. In relation to the external alterations proposed that includes larger window openings, double glazing, rooflights, and replacement rainwater goods, these are well-considered and would not detract from the historic appearance of this agricultural / service building. As such, it is not considered that the proposal would harm the special character and appearance of the original building, the setting of the Manor House, or the wider locality.
- 10.4 The proposal would retain the two existing vehicular accesses to the site, which both achieve acceptable visibility splays. It would therefore not result in harm to highway safety. It is also considered that there is sufficient space on site to provide the requisite parking and so the proposal would not result in any additional on-street parking pressure.
- 10.5 The proposal would not result in any harm to neighbouring amenity in terms of overlooking, loss of light or visual intrusion given the significant separation distance from the nearest residential neighbours. Given the nature of the proposal as ancillary residential, together with the separation distance, it is also not considered to result in harm from undue noise and disturbance.
- 10.6 It is considered that the incorporation of a sustainable drainage system would be inappropriate in this instance, and so there would be no harm in relation to surface water flooding.
- 10.7 In relation to benefits of the scheme, while partially in use, the existing coach house and stable building is underutilised and it is considered that the proposal would better secure its long-term upkeep and thereby the longevity of this Grade II listed building.
- 10.8 On balance, it is considered that any adverse impacts of the proposal are significantly and demonstrably outweighed by the benefits of the proposal when assessed against the policies in the NPPF taken as a whole.

11. APPENDICES TO THIS REPORT

- Appendix A – Site Location Plan
- Appendix B – Proposed Plans and Elevations

12. CONDITIONS RECOMMENDED FOR INCLUSION IF PERMISSION IS GRANTED

- 1 The development hereby permitted shall be commenced within three years from the date of this permission.
Reason: To accord with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).
- 2 The materials to be used on the external surfaces of the development shall be in accordance with those specified in the application unless any different materials are first agreed in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.
Reason: In the interests of the visual amenities of the area. Relevant Policies - Local Plan DG1.
- 3 Prior to any equipment, machinery or materials being brought onto the site an Arboricultural Method Statement and Tree Protection Plan specific to this scheme shall be submitted and approved in writing by the Local Planning Authority. The Tree Protection Plan and Arboricultural Method Statement shall be written in accordance with, and address sections 5.5, 6.1, 6.2, 6.3 and 7 of British Standard 5837:2012 Trees in relation to design, demolition and construction: recommendations. The approved measures shall be implemented in full prior to any equipment, machinery or materials being brought onto the site, and thereafter maintained until the completion of all construction work and all equipment, machinery and surplus materials have been permanently removed from the site. These measures shall include fencing in accordance with British Standard 5837. Nothing shall be stored or placed in any area fenced in accordance with this condition and the ground levels within those areas shall not be altered, nor shall any

excavation be made.

Reason: To protect trees which contribute to the visual amenities of the site and surrounding area. Relevant Policies - Local Plan DG1, N6.

4 All windows shall be constructed from and maintained as painted timber.

Reason: In order to protect and preserve the character of the listed building. Relevant Policies - Local Plan LB2.

5 All external rainwater goods and pipework shall be painted case metal and thereafter maintained as such.

Reason: In order to protect and preserve the character of the listed building. Relevant Policies - Local Plan LB2.

6 Prior to their installation, details of the location and appearance of any new flues, vents and grills shall be submitted to and approved in writing by the Local Planning Authority. Such works shall thereafter be completed and maintained entirely in accordance with the approved details.

Reason: In order to protect and preserve the character of the listed building. Relevant Policies - Local Plan LB2.

7 The development hereby permitted shall not be occupied at any time other than for purposes ancillary to the residential use of the dwelling.

Reason: Occupation as a separate unit of residential accommodation would result in an unsatisfactory living environment for occupiers of both the existing house and the new development.

8 The development hereby permitted shall be carried out in accordance with the approved plans listed below.

Reason: To ensure that the development is carried out in accordance with the approved particulars and plans.

Informatives

1 The attention of the applicant is drawn to the Berkshire Act 1986, Part II, Clause 9, which enables the Highway Authority to recover the costs of repairing damage to the footway or grass verge arising during building operations.

2 The attention of the applicant is drawn to Section 59 of the Highways Act 1980 which enables the Highway Authority to recover expenses due to extraordinary traffic.

3 Any incidental works affecting the adjoining highway shall be approved by, and a licence obtained from the The Streetcare Services Manager at Tinkers Lane Depot Tinkers Lane Windsor SL4 4LR tel: 01628 796801 at least 4 weeks before any development is due to commence.

4 No builders materials, plant or vehicles related to the implementation of the development should be parked/stored on the public highway so as to cause an obstruction at any time.

5 applicant is advised to follow guidance with respect to dust control: London working group on Air Pollution Planning and the Environment (APPLE): London Code of Practice, Part 1: The Control of Dust from Construction; and the Building Research Establishment: Control of dust from construction and demolition activities. applicant should be aware the permitted hours of construction working in the Authority are as follows:

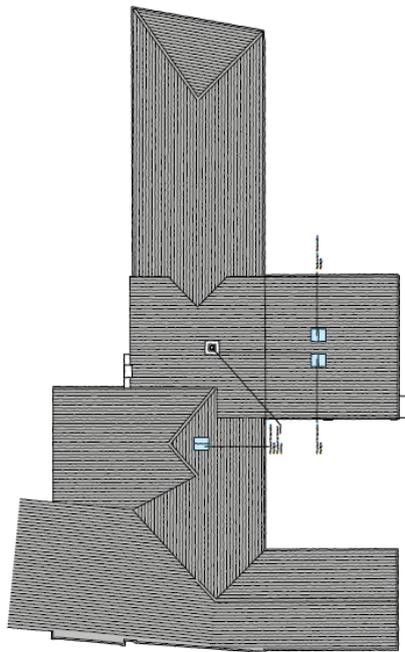
- Friday 08.00 - 18.00

08.00 - 13.00

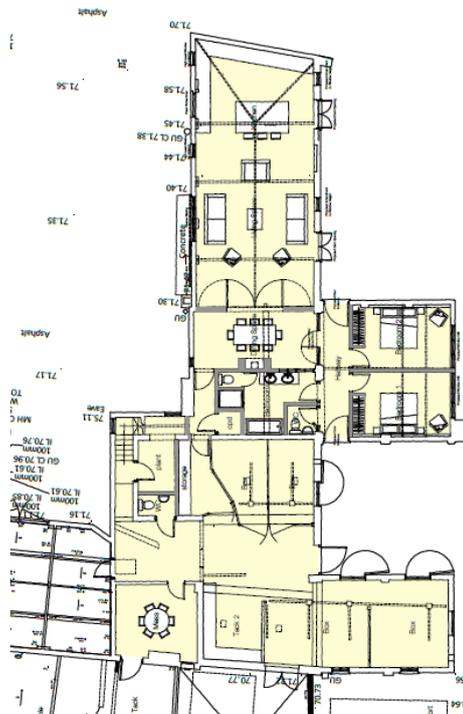
working on Sundays or Bank Holidays.

6 The Royal Borough receives a large number of complaints relating to construction burning activities. The applicant should be aware that any burning that gives rise to a smoke nuisance is actionable under the Environmental Protection Act 1990. Further that any burning that gives rise to dark smoke is considered an offence under the Clean Air Act 1993. It is the Environmental Protection Team policy that there should be no fires on construction or demolition sites. All construction and demolition waste should be taken off site for disposal. The only exceptions relate to knotweed and in some cases infected timber where burning may be considered the best practicable environmental option. In these rare cases we would expect the contractor to inform the Environmental Protection Team before burning on 01628 68 3830 and follow good practice.

Appendix B – Proposed Plans and Elevations



Proposed Roof Plan
Scale 1:100



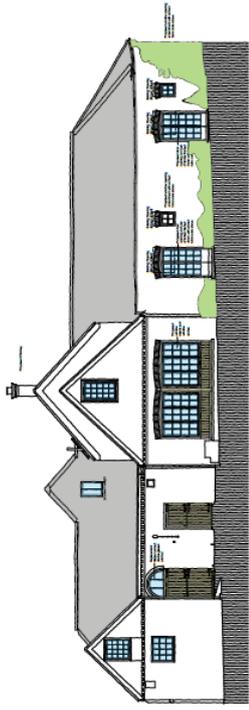
Proposed Ground Floor Plan
Scale 1:100



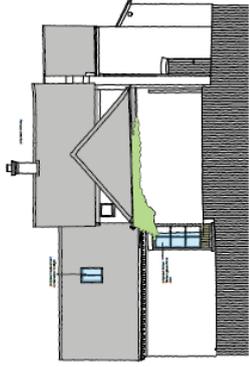
Proposed First Floor Plan
Scale 1:100

PLANNING

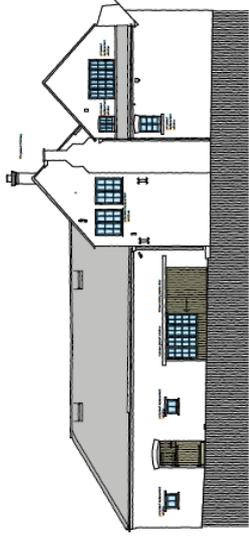
SCALE 1:100	NET PLAN		<p>D R M K S B O B M E L L ARCHITECTS INC. 18-28-101 SCALE 1:100 DATE Feb'19 PROJECT AT</p>
		<p>ART: Charfield Manor OWNER: Proposed Ground + First Floor Plan PROJECT: 18-28-101 DATE: Feb'19 SCALE: 1:100 PROJECT: AT</p>	



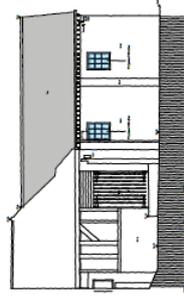
Proposed Front Elevation
Scale 1:100



Proposed Side Elevation
Scale 1:100



Proposed Rear Elevation
Scale 1:100



Proposed Side Elevation
Scale 1:100

ancillary building

PLANNING

<p>SCALE</p> <p>1:100</p>	<p>NET PLAN</p>	<p>REVISIONS</p>	<p>DATE: 04/20/19 DRAWN BY: J. B. B. L.L. CHECKED BY: J. B. B. L.L. PROJECT: 19-03-102 SHEET: 11 OF 12 SCALE: 1:100 DATE: 04/20/19 DRAWN BY: J. B. B. L.L. CHECKED BY: J. B. B. L.L.</p>
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