

**ROYAL BOROUGH OF WINDSOR & MAIDENHEAD
PLANNING COMMITTEE**

DEVELOPMENT CONTROL PANEL

16 September 2020

Item: 2

Application No.:	20/00936/FULL
Location:	17 Castle Hill Maidenhead SL6 4AD
Proposal:	Construction of x10 apartments with associated parking and landscaping, following demolition of the existing dwelling (with existing gatehouse retained).
Applicant:	Mr Murray
Agent:	Mr T Rumble
Parish/Ward:	Maidenhead Unparished/Boyn Hill
If you have a question about this report, please contact: Charlotte Goff on 01628 685729 or at charlotte.goff@rbwm.gov.uk	

1. SUMMARY

- 1.1 This application seeks consent for the demolition of the existing building and erection of a building containing 10 apartments (9x2 bed and 1 x 1 bed).
- 1.2 The site has planning permission for 9 flats that was approved at appeal in May 2019 and subsequently amended by a Section 73 variation application. The scheme proposed as part of this application, retains the building as approved within applications 18/01498/FULL and 19/02357/VAR, in terms of its overall scale, massing, siting, footprint and design but proposes to split the approved second floor flat into 2 flats (1 x 1bed and 1 x 2 bed) and add a dormer window on the western elevation.
- 1.3 The overall design, size, scale, siting, massing and design of the building proposed is considered acceptable in the context of the site and is considered to preserve the character and appearance of the Conservation Area.
- 1.4 The scheme is considered to present a suitable standard of accommodation for future occupiers, have an acceptable impact in terms of its impact on neighbouring properties, and the surrounding highway network.

It is recommended the Panel GRANTS planning permission with the conditions listed in Section 13 of this report.

2. REASON FOR PANEL DETERMINATION

- The application was called to panel by Councillor Baldwin over concerns with the development regarding relevant conservation area policy CA2 (1), (3) and (5) of the Local Plan.

3. DESCRIPTION OF THE SITE AND ITS SURROUNDINGS

- 3.1 The site is located on Castle Hill in Maidenhead and forms No. 17 Castle Hill and its associated curtilage. The site is roughly triangular in shape and contains a large two storey residential dwelling and a gatehouse. The Gatehouse, which dates to c. 1890, is castle like in appearance with arches across the main entrance. This building contains a self-contained flat and is a non-designated heritage asset. The site lies within Castle Hill Conservation Area, a designated heritage asset. There are also a number of listed buildings on the opposite (north side) of Castle Hill including Nos. 2, 4, 7 and 9 Castle Hill.
- 3.2 The surrounding area is predominantly residential in character and vehicular access to the site is from Folly Way. The site has an existing pedestrian access point on the eastern side of the site.

4. KEY CONSTRAINTS

4.1 The site is located within Castle Hill Conservation Area.

5. DESCRIPTION OF THE PROPOSAL AND ANY RELEVANT PLANNING HISTORY

5.1 This application seeks consent for the demolition of the existing building and erection of a building containing 10 apartments set over 3 floors. The site has planning permission for 9 flats that was approved at appeal in May 2019 and subsequently amended by a Section 73 variation application. The scheme proposed as part of this application, retains the building as approved within applications 18/01498/FULL and 19/02357/VAR, in terms of its overall appearance, scale, massing, siting, footprint and design but incorporates the following additions:

1. The 2 bed flat on the second floor will be replaced with 1 x 1 bed and 1 x 2 bed flats. This will increase the number of units on the site from 9 to 10.
2. Alterations to the west facing roof space to replace a proposed roof light with pitched roof dormer.

5.2 The location and layout of the car parking remains as per the approved plans for application 19/02357/VAR. No modifications or works are proposed to the gatehouse.

5.3 The most relevant planning history for the site is listed below:

Reference	Description	Decision
19/02357/VAR	Variation (under Section 73) of Condition 2 to substitute those plans approved under 18/01498/FULL (allowed on appeal) for the construction of x 9 apartments with associated parking and landscaping following demolition of the existing dwelling with amended plans. <i>This scheme approved the enlargement of the building allowed on appeal (18/01498/FULL) by 2 metres to the south and 1 metre to the west and, alterations to the roof design and fenestration.</i>	Approved 22/11/2019.
18/01498/FULL	Construction of 9 apartments with associated parking and landscaping following demolition of the existing dwelling	Refused by the LPA on 17/12/2018. Allowed on appeal on 15/05/2019.
16/03011/FULL	Demolition of existing dwelling and replacement with 12no. apartments and modifications to the existing gatehouse (retained as a 1 bedroom dwelling), associated parking and landscaping.	Refused by the LPA on 23/01/2017. Dismissed on appeal on 31/07/2017.

6. DEVELOPMENT PLAN

Adopted Royal Borough Local Plan (2003)

6.1 The main Development Plan policies applying to the site are:

Issue	Adopted Local Plan Policy
Design in keeping with character and appearance of area	DG1, H10,H11
Heritage Assets	CA2, LB2, ARCH3, ARCH4
Highways	P4 AND T5
Trees	N6

These policies can be found at

https://www3.rbwm.gov.uk/downloads/download/154/local_plan_documents_and_appendices

7. **MATERIAL PLANNING CONSIDERATIONS**

National Planning Policy Framework Sections (NPPF) (2019)

Section 4- Decision-making

Section 9- Promoting Sustainable Transport

Section 12- Achieving well-designed places

Section 16- Conserving and enhancing the historic environment

Borough Local Plan: Submission Version

Issue	Local Plan Policy
Design in keeping with character and appearance of area	SP2, SP3
Sustainable Transport	IF2
Housing mix and type	HO2
Heritage Assets	HE1
Trees	NR2

Borough Local Plan: Submission Version Proposed Changes (2019)

Issue	Local Plan Policy
Design in keeping with character and appearance of area	QP1,QP3
Sustainable Transport	IF2
Housing mix and type	HO2

- 7.1 The NPPF sets out that decision-makers may give weight to relevant policies in emerging plans according to their stage of preparation. The Borough Local Plan Submission Document was published in June 2017. Public consultation ran from 30 June to 27 September 2017. Following this process the Council prepared a report summarising the issues raised in the representations and setting out its response to them. This report, together with all the representations received during the representation period, the plan and its supporting documents was submitted to the Secretary of State for independent examination in January 2018. The Submission Version of the Borough Local Plan does not form part of the statutory development plan for the Borough.
- 7.2 In December 2018, the examination process was paused to enable the Council to undertake additional work to address soundness issues raised by the Inspector. Following completion of that work, in October 2019 the Council approved a series of Proposed Changes to the BLPSV. Public consultation ran from 1 November to 15 December 2019. All representations received will be reviewed by the Council to establish whether further changes are necessary before the Proposed Changes are submitted to the Inspector. In due course the Inspector will resume the Examination of the BLPSV. The BLPSV and the BLPSV together with the Proposed Changes are therefore material considerations for decision-making. However, given the above both should be given limited weight.
- 7.3 These documents can be found at:
<https://www3.rbwm.gov.uk/blp>

Supplementary Planning Documents

- Borough Wide Design Guide

Other Local Strategies or Publications

7.3 Other Strategies or publications material to the proposal are:

- RBWM Townscape Assessment
- RBWM Parking Strategy

More information on these documents can be found at:

https://www3.rbwm.gov.uk/info/200414/local_development_framework/494/supplementary_planning

8. CONSULTATIONS CARRIED OUT

Comments from interested parties

35 occupiers were notified directly of the application.

7 letters were received objecting to the application, summarised as:

Comment	Where in the report this is considered
1. Unacceptable harm to Castle Hill Conservation Area and setting of the Gatehouse and Folly;	Section ii
2. Roof form is not a feature of the conservation area;	Section i
3. Scheme is an overdevelopment of the site and out of keeping;	Section i
4. Vehicular access is unsuitable for traffic proposed	Section v
5. Pedestrian safety concerns from access and volume of traffic using site;	Section v
6. No affordable housing is proposed;	The site falls below the policy threshold for requiring the provision of affordable housing.
7. Title deed clauses over the quantum of development on the site and freehold over Folly Way	These are separate private matters which would be dealt with independently of the planning process.
8. Scale and style of the buildings is out of keeping with the existing buildings in the area.	Section i
9. Insufficient parking proposed on the plans	Section v
10. Development will overlook the neighbouring properties leading to a loss of privacy and noise disturbance.	Section iii
11. Concern over loss of mature trees on the site	Section viii

Consultees

Consultee	Comment	Where in the report this is considered
LLFA	Details of surface water drainage and maintenance arrangements need to be provided.	Section vii
Berkshire Archaeology	A written scheme of investigation is required to be submitted as the site falls within an area of archaeological significance.	Section vi
Highways	No objection is raised to the proposed access arrangement, parking provision is considered to be in accordance with the parking standards. Conditions are recommended to secure a Construction Management Plan, parking and turning as per the approved drawing and ensure cycle parking and refuse is provided as shown.	Section v
Trees	No objection subject to conditions to secure a landscaping scheme and ensure that retained trees are protected.	Section viii
Conservation	Object to the development based on its inappropriate scale and massing and lack of architectural finesse. Regardless of prior judgement, it is still considered inappropriate within the Conservation Area.	Section ii
Environmental Protection	The site is adjacent to an old gravel pit and in the event that unexpected soil contamination is found after development has begun, development must be halted. The contamination must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken, and where remediation is necessary a remediation scheme must be prepared, which is the subject of the approval in writing of the Local Planning Authority.	A condition is recommended.

9. EXPLANATION OF RECOMMENDATION

9.1 The key issues for consideration are:

- i Design Considerations;
- ii Impact on the Conservation Area;
- iii Impact on Neighbouring Amenity;
- iv Provision of a Suitable Residential Environment;
- v Highway consideration and parking provision;
- vi Archaeology;
- vii Surface Water Drainage;
- viii Trees and Landscaping;
- IX Ecology.

Design Considerations

9.2 Local Plan policy DG1 provides guidance on design. Local Plan policy H10 requires new residential schemes to display high standards of design and landscaping in order to create attractive safe and diverse residential areas and where possible to enhance the existing environment. Local Plan Policy H11 sets out that permission will not be granted for schemes which introduce a scale or density of new development which would be incompatible with or cause damage to the character and amenity of the area. Policy CA2 of the Local Plan provides guidance on new development within Conservation Areas. This Policy requires retention of any

buildings that contribute to the distinctive character of the conservation area; new development to enhance or preserve the character or appearance of the area; and new buildings and extensions to be of a high quality of design which is sympathetic in terms of siting, proportions, scale, form, height, materials and detailing to adjacent buildings and the area in general.

Policies DG1, H10, H11 and CA2 of the Adopted Local Plan are broadly in line with the aims and objectives of the National Planning Policy Framework, and so are afforded significant weight

- 9.3 The scheme proposed as part of this application retains the building as allowed on appeal (18/01498/FULL) and subsequently amended by application 19/02357/VAR. The height, scale, massing, footprint, design and siting are all as previously approved. The only difference between this scheme and the previous schemes is the addition of a small pitched roof dormer window on the western elevation of the building. This is required as a result of an alteration to the internal layout to divide the 2 bed unit on second floor into 1 x 1 bed and 1 x 2 bed flat. Although an additional flat is proposed, no alteration is proposed to the parking layout or amount of hardstanding.
- 9.4 Although concerns were raised in the consideration of previous applications and to this application in representations and in the comments of the Conservation Officer in respect of the massing of the building, scale of the dormer windows and architectural approach of the proposed building, these elements were all considered by the Planning Inspectorate to be acceptable when considering the appeal for 18/01489/FULL. At paragraph 17 of the appeal decision (APP/T0355/W/19/3223160) the Inspector concludes: *“The new building would be of an acceptable appearance which, whilst not reflective of the wider CA, nonetheless picks up on the visual characteristics of the large and prominent buildings further up Castle Hill and along Grenfell Road. I have found that it would preserve the character and appearance of the CA”*.
- 9.5 Similarly, in relation to the layout and siting of the development proposed, the Inspector considered that although the replacement building would be larger it was more centrally located within the plot, which enabled it to respond better to its plot, retaining the spacious character.
- 9.6 Concerns have also been raised in respect of the scale, massing and overall design of the building proposed as part of this application. Whilst the concerns of the Conservation Officer and local residents in relation to the scale and massing, and lack of architectural finesse of the buildings are acknowledged, notwithstanding these comments, significant weight is afforded to the Inspector’s conclusion from the appeal on the site. The proposed building has not altered in its height, scale, massing, footprint, design or siting from the extant permissions. The only external alteration is the addition of a small dormer, of identical size and scale to those previously approved. The scheme overall, when taking all of these elements into account is considered acceptable.

ii Impact on Conservation Area

- 9.7 In accordance with paragraph 189 of the NPPF an assessment on the impact to the heritage asset to establish the level of harm is required. In this case, whilst no. 17 Castle Hill is an attractive building and makes a positive contribution to Castle Hill Conservation Area, it is not considered to be of any particular architectural or historic interest. As such the total loss of no. 17 Castle Hill is not considered to result in harm to Castle Hill Conservation Area provided that the replacement building preserves or enhances its special character.
- 9.8 The stone castle folly (no. 19 Castle Hill) was built in 1897 by Edwin Hewitt and the folly is identified in the Castle Hill Conservation Area Statement as being an important building and, as such, makes a strong contribution to the character of the Conservation Area. It is considered that the folly formed part of the Grenfell Estate. The extensive grounds of Grenfell Estate has since been subdivided and developed, but part of the boundary of the original grounds is still in evidence today with the stone boundary wall and gatehouse complete with crenulations. The Gatehouse therefore makes a positive contribution to Castle Hill Conservation Area in this respect. The main Gatehouse building would be retained.
- 9.9 The significance of Castle Hill Conservation Area lies in its historic and architectural interest. The historic interest of the Conservation Area lies largely in its link with the influential Grenfell family.

After moving from Cornwall in 1818 the family developed 20 acres of Castle Hill in the 1890s. The buildings along this main road are typical Victorian and Edwardian Villas, attractive in their appearance, with a distinct architectural style on either side of Castle Hill. The northern side is characterised by single or semi-detached villas dating to the mid-19th century in a classical style with ornamental ironwork. The buildings on the southern side of Castle Hill are varied in style, but can be generally characterised by red brick construction with terra-cotta tile and moulded brick detailing. Although not listed, the buildings on the southern side represent the final phase of 19th century architecture, having been built post-1889 by the Grenfell family. On several plots, the former 19th century buildings have been demolished and replaced with modest, but poorly design residential blocks.

- 9.10 Two buildings of note in relation to this application site are the follies. The first located outside the site boundary on Castle Hill, is believed to have been built in 1897 by Edwin Hewitt. Still lived in, the impressive rock-faced exterior and castellated parapet is perfectly designed for its location on Castle Hill. The second folly, designed as a gatehouse and coach house for Castle Mount, is found along the south western boundary of the site.
- 9.11 As expressed in previous paragraphs, the Inspector considered within the appeal for 18/01498/FULL that the proposed building *"...would retain key elements contributing to the CA and would represent a traditional design, albeit one that responds to its immediate setting and visual relationship with nearby properties...I consider that it would preserve the character and appearance of the CA"*. Taking these conclusions into the consideration of this scheme and given that it is almost identical albeit with the addition of a small dormer window on the western elevation, the extant permission is considered to represent a valid fall-back position. Moreover, and in light of the foregoing, the scheme is considered to preserve the character and appearance of the Conservation Area.

iii- Impact on Neighbouring Amenity

- 9.12 The Borough Wide Design Guide (2020) seeks to ensure that new developments provide future occupiers with high quality amenities and do not undermine the amenities of occupiers of neighbouring properties, especially where these are residential properties. A minimum distance of 20m is a generally accepted guideline for there to be no material loss of privacy between the rear of buildings facing each other. For a rear to side relationship, it may be possible to reduce this separation distance to 15m.
- 9.13 There are several residential properties surrounding this site and the following provides an assessment of the impact of the proposal on each.

Castle Hill Terrace

- 9.14 The road separates the site from properties on the northern side of Castle Hill at Castle Hill Terrace with a separation distance of approximately 22m. At this distance the proposal would not materially harm the outlook from these houses or lead to an unacceptable loss of daylight/sunlight or privacy.

19 Castle Hill

- 9.15 There is a separation distance of approximately 14m between the nearest proposed elevation, and 19 Castle Hill. The rear garden of number 19 does face the application site, however, the proposed building is angled so that it does not directly face the rear garden of number 19. It is accepted that there will be some views from 'elevation 4' towards the rear garden area, however, given that the elevation of the building is angled, it will not result in direct overlooking into the rear garden of number 19. As such the scheme is not considered to significantly harm the outlook for this neighbouring property or result in undue loss of daylight/sunlight or loss of privacy.

118A Grenfell Road

- 9.16 The proposal is not considered to result in undue loss of amenity to this property in terms of loss of light, visual intrusion or loss of privacy. The side elevation of number 118A faces the

application site, which is not a principal elevation. In addition, it is not considered the proposed building would directly overlook the private amenity space of this dwelling.

Lavender and Jasmine Cottage, Folly Way

- 9.17 Lavender and Jasmine Cottage are separated from the site by Folly Way, which measures approximately 3.5m in width. There would be a distance of approximately 12 metres between the proposed elevation of the building, and the elevations of these properties. Therefore, while there would be an increase in presence of built development when seen from Lavender and Jasmine Cottage it is not considered that the proposal would result in undue visual intrusion or loss of daylight/sunlight to these neighbouring properties. In terms of privacy, there are new windows which would face Lavender and Jasmine Cottage but given that these windows would face the front of Lavender and Jasmine Cottage, it is not considered to result in an undue loss of privacy.

Castle Mews

- 9.18 The side elevation of 8 Castle Mews faces the application site; this is not a principal elevation to this dwelling. Given the angle of the proposed building, and distance from the boundary with 8 Castle Mews, it is not considered that the scheme would give rise to unacceptable levels of overlooking to this neighbouring property, or reduce light to habitable room windows to an unacceptable level in this property

iv- Provision of a Suitable Residential Environment

- 9.19 The Borough Design Guide expects developments to comply with the national internal spaces standards as set out within the DCLG 'Technical housing standards – nationally described space standards' (2015). This seeks to ensure that 1 bed 2 person units are a minimum of 50sq.m in internal floor area, 2 bed 3 person units, 61sq.m and 2 bed 4 person units, 70sq.m.
- 9.20 As part of this application, it is proposed to divide the approved unit on the second floor into two units, increasing the number of units proposed on the site from 9 to 10 (9x 2 bed and 1 x 1 bed). The floor plans detail that the internal floor areas of the units range from 65-81 sq.m for the 2 bed flats and 68 sq.m for the 1 bed flat. Therefore the size of the units proposed is considered compliant with the standards.
- 9.21 Having regard to the internal layout and quality of the accommodation proposed, given the spacious nature of the site, sufficient outlook and privacy is maintained from all habitable room windows proposed within the development. Each flat is able to achieve suitable levels of natural daylight and ventilation to the spaces proposed. Although an additional flat is proposed as part of this application, the site layout hasn't altered from the previously approved scheme and ample communal amenity space is provided for the residents.

v- Highway consideration and parking provision.

- 9.22 Adopted Local Plan policy T5 states that all development proposals shall comply with adopted highway design standards. A 1 bed apartment in this location requires 0.5 spaces and a 2 bed apartment requires 1 space. The development comprises 9 x 2-bedroom apartments, 1 x 1-bedroom apartment and retains the existing gatehouse, a self-contained 1-bedroom unit. The scheme proposes 11 car parking spaces and the proposal is therefore compliant with the current parking strategy.
- 9.23 It is proposed to use Folly Way as the vehicular access to serve the site. The retention of the archway raises no highway concerns and adequate space is provided to allow a driver leaving the development to see and be seen by a driver entering the site.
- 9.24 Waste and recycling stores are also proposed at the site. To ensure the stores can accommodate an adequate number and size of bins further details would need to be secured by planning condition. Currently the refuse collection for 17 Castle Hill and the residential properties in Castle Mews are undertaken by refuse vehicles reversing along Folly Way from Grenfell Road. This

development proposes no change to the current refuse servicing, and given that this is the existing arrangement it is not considered to warrant refusal on this basis.

vi – Archaeology

- 9.25 The application site is in a location with archaeological interest. While the site has previously been developed for the current house, the proposals include new development outside of the footprint of the existing dwelling and this has the potential to impact on important buried remains associated with the Roman villa or earlier deposits.
- 9.26 In view of the archaeological potential of this site, a planning condition would need to be attached to any planning consent granted in order to mitigate the impacts of development. This is in accordance with Paragraph 141 of the NPPF which states that local planning authorities should 'require developers to record and advance understanding of the significance of any heritage assets to be lost (wholly or in part) in a manner proportionate to their importance and the impact of a development, and to make this evidence (and any archive generated) publicly accessible'.

vii- Surface Water Drainage

- 9.27 The Lead Local Flood Authority have requested that the information relating to surface water drainage system and proposed maintenance arrangements be provided. During the appeal for application 18/01498/FULL, the LLFA provided additional comments within which they recommended that these details be sought by pre-commencement condition on any consent. It is recommended that a similar approach is followed in this application.

viii - Trees and Landscaping

- 9.28 The garden area to the eastern side of the site is predominately grassed with a mixture of trees and shrubs around its periphery. As the site lies within a Conservation Area the trees are protected by the provision in section 211 of the Town and Country Planning Act 1990, while Local Plan policy N6 states that where practicable plans for new development should retain suitable trees and include proposed landscaping and appropriate tree planting. Where the amenity value of trees outweighs the justification for development, planning permission may be refused.
- 9.29 An Arboricultural Report has been submitted which contains a Tree Survey and Arboricultural Impact Assessment which shows 10 trees to be removed, to facilitate the proposed building and proposed pedestrian route to Castle Hill. These trees have been categorised as grade 'c', which are classified as trees of low quality with limited merit, low landscape benefits and no cultural value. As such, their loss is considered acceptable. It is considered that subject to the provision of an acceptable landscaping scheme, the impact upon trees is acceptable.

ix – Ecology

- 9.30 The previously approved application was accompanied with a bat survey, which sets out walkover surveys were done and that there were no ecological constraints to the site. In the current submission the Council's ecologist requested an updated survey to be carried out. On balance, given that the previously submitted documents were approved by the Inspector in May 2019, it is considered that the recommended conditions are sufficient for the protection of the protected species.

Other Material Considerations

10. Housing Land Supply

- 10.1 Paragraphs 10 and 11 of the NPPF (2019) set out that there will be a presumption in favour of Sustainable Development. The latter paragraph states that:
- 10.2 For decision-taking this means: approving development proposals that accord with an up-to-date development plan without delay; or where there are no relevant development plan policies, or the

policies which are most important for determining the application are out-of-date, granting permission unless: i. the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or ii. Any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.

10.3 Footnote 7 of the NPPF (2019) clarifies that policies which are most important for determining the application are out-of-date include, for applications involving the provision of housing, situations where the local planning authority cannot demonstrate a five year supply of deliverable housing sites (with the appropriate buffer).

10.4 At the time of writing the Council is not able to demonstrate a 5year rolling housing land supply based on the current national guidance.

11. PLANNING BALANCE AND CONCLUSION

11.1 The proposed scheme is considered to have an acceptable impact on Highway Safety, and is not considered to result in a severe impact on the highway network. The scheme is considered to have an acceptable impact on neighbouring residential amenity and upon trees.

11.2 Taken into account all relevant planning material considerations, the proposed development would preserve the character or appearance of the Conservation Area, in accordance with Adopted Local Policies CA2 and DG1.

11.3 As set out in paragraphs 10.1 to 10.4 for the purpose of considering this planning application the Council cannot currently demonstrate a rolling five years housing land supply against the NPPF (2019) and in this instance the so-called tilted balance is engaged. For decision making this means approving development proposals unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole.

11.5 However such an assessment is considered to be academic. This is because for the reasons set out above, Officers are of the view that if this application is determined in accordance with the normal test under section 38(6) of the 2004 Act, the proposal is in general conformity with the Development Plan overall and there are no material considerations of sufficient weight to justify refusal.

12. APPENDICES TO THIS REPORT

- Appendix A - Site location plan
- Appendix B – Site Layout
- Appendix C – Proposed floor plans
- Appendix D – Proposed elevations

13. CONDITIONS RECOMMENDED FOR INCLUSION IF PERMISSION IS GRANTED

1 The development hereby permitted shall be commenced within three years from the date of this permission.

Reason: To accord with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

2 Prior to the commencement of any works of demolition or construction a management plan showing how demolition and construction traffic, (including cranes), materials storage, facilities for operatives and vehicle parking and manoeuvring will be accommodated during the works period shall be submitted to and approved in writing by the Local Planning Authority. The plan shall be implemented as approved and maintained for the duration of the works or as may be agreed in writing by the Local Planning Authority.

Reason: In the interests of highway safety and the free flow of traffic. Relevant Policies - Local

Plan T5.

- 3 Prior to the commencement of the construction of the walls, further details, and a sample panel of brickwork showing all proposed bricks, method of bonding, colour of mortar and type of pointing to be used on all walls and all window/ door opening headers shall be prepared on site and approved by the Local Planning Authority. The work shall be undertaken in accordance with the approved details.

Reason: To preserve or enhance the character and appearance of the Conservation Area.
Relevant Policy CA2

- 4 Prior to their installation, horizontal and vertical sections and elevations of all proposed external timber windows and doors, including surrounding frames, shall be provided at a minimum scale of 1:10 with typical moulding details at a scale of 1:1 shall be submitted to, and approved in writing by, the Local Planning Authority. The development shall be carried out and maintained thereafter in accordance with the approved details.

Reason: To preserve or enhance the character and appearance of the Conservation Area.
Relevant Policy CA2

- 5 Prior to installation, details of all external rainwater, drainage and ventilation goods shall be submitted to and approved by the Local Planning Authority in writing and shall be installed and thereafter maintained in accordance with the approved details.

Reason: To preserve or enhance the character and appearance of the Conservation Area.
Relevant Policy CA2

- 6 No development, other than demolition to ground level (i.e. excluding the grubbing out of foundations) shall take place within the application area until the applicant has secured the implementation of a programme of archaeological works, which may comprise more than one phase of investigation, in accordance with a written scheme of investigation, which has been submitted to and approved in writing by the Local Planning Authority.

Reason: The site lies within an area of archaeological potential, mostly relating to the important site of the Castle Hill Roman villa but including the potential for prehistoric deposits. A programme of works is required to mitigate the impact of development and to record any surviving remains so as to advance our understanding of their significance in accordance with national and local plan policy.

- 7 Prior to the installation of hanging tiles and all types of roof tiles proposed, samples of each shall be prepared for viewing on site and details submitted to and approved in writing by the Local Planning Authority. The work shall be carried out in accordance with the approved details.

Reason: To preserve or enhance the character and appearance of the Conservation Area.
Relevant Policy CA2

- 8 Prior to the construction of the building hereby approved, details of biodiversity enhancements shall be submitted to and approved in writing by the Local Planning Authority. The enhancement features shall be installed as approved before first occupation of the building.

Reason: To protect and preserve the biodiversity on site and in the area. Relevant Policies - Local Plan N6.

- 9 Prior to any equipment, machinery or materials being brought onto the site, details of the measures to protect, during construction, the trees shown to be retained on the approved plan, shall be submitted to and approved in writing by the Local Planning Authority. The approved measures shall be implemented in full prior to any equipment, machinery or materials being brought onto the site, and thereafter maintained until the completion of all construction work and all equipment, machinery and surplus materials have been permanently removed from the site. These measures shall include fencing in accordance with British Standard 5837. Nothing shall be stored or placed in any area fenced in accordance with this condition and the ground levels within those areas shall not be altered, nor shall any excavation be made, without the prior written approval of the Local Planning Authority.

Reason: To protect trees which contribute to the visual amenities of the site and surrounding area. Relevant Policies - Local Plan DG1, N6.

- 10 No part of the development shall be occupied until vehicle parking spaces have been provided in accordance with the approved drawing. The spaces approved shall be retained for parking in association with the development.

Reason: To ensure that the development is provided with adequate parking facilities in order to reduce the likelihood of roadside parking which could be detrimental to the free flow of traffic and to highway safety. Relevant Policies - Local Plan P4, DG1

- 11 No part of the development shall be occupied until covered and secure cycle parking facilities have been provided in accordance with details that have first been submitted to and approved in

writing by the Local Planning Authority. These facilities shall be provided in accordance with the approved details and thereafter be kept available for the parking of cycles in association with the development at all times.

- 12 Reason: To ensure that the development is provided with adequate parking facilities in order to encourage the use of alternative modes of transport. Relevant Policies - Local Plan T7, DG1
No part of the development shall be occupied until further details on the refuse bin storage area and recycling facilities have been submitted to and approved in writing by the Local Planning Authority. These facilities shall be implemented in accordance with the approved details and kept available for use in association with the development at all times.

- 13 Reason: To ensure that the development is provided with adequate facilities that allow it to be serviced in a manner which would not adversely affect the free flow of traffic and highway safety and to ensure the sustainability of the development. Relevant Policies - Local Plan T5, DG1.
In the event that unexpected soil contamination is found after development has begun, development must be halted. The contamination must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken, and where remediation is necessary a remediation scheme must be prepared, which is the subject of the approval in writing of the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority.

- Reason: To ensure that risks from land contamination to the future users of the land and the neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors. Relevant Policy Local Plan NAP4.

- 14 Prior to the commencement of the development (excluding demolition), a surface water drainage scheme for the development, based on sustainable drainage principles shall be submitted to and approved in writing by the Local Planning Authority. The surface water drainage scheme shall include: 1) Full details of all components of the proposed surface water drainage system including dimensions, locations, gradients, invert levels, cover levels and relevant construction details; 2) Supporting calculations based on infiltration testing undertaken in accordance with BRE365 confirming any attenuation storage volumes to be provided 3) Details of the maintenance arrangements relating to the proposed surface water drainage system confirming who will be responsible for its maintenance and the maintenance regime to be implemented. The surface water drainage system shall be implemented and maintained in accordance with the approved details thereafter.

Reason: To ensure compliance with the National Planning Policy Framework and the Non-Statutory Technical Standards for Sustainable Drainage Systems, and to ensure the proposed development is safe from flooding and does not increase flood risk elsewhere.

- 15 The development hereby permitted shall be carried out in accordance with the approved plans listed below.

Reason: To ensure that the development is carried out in accordance with the approved particulars and plans.

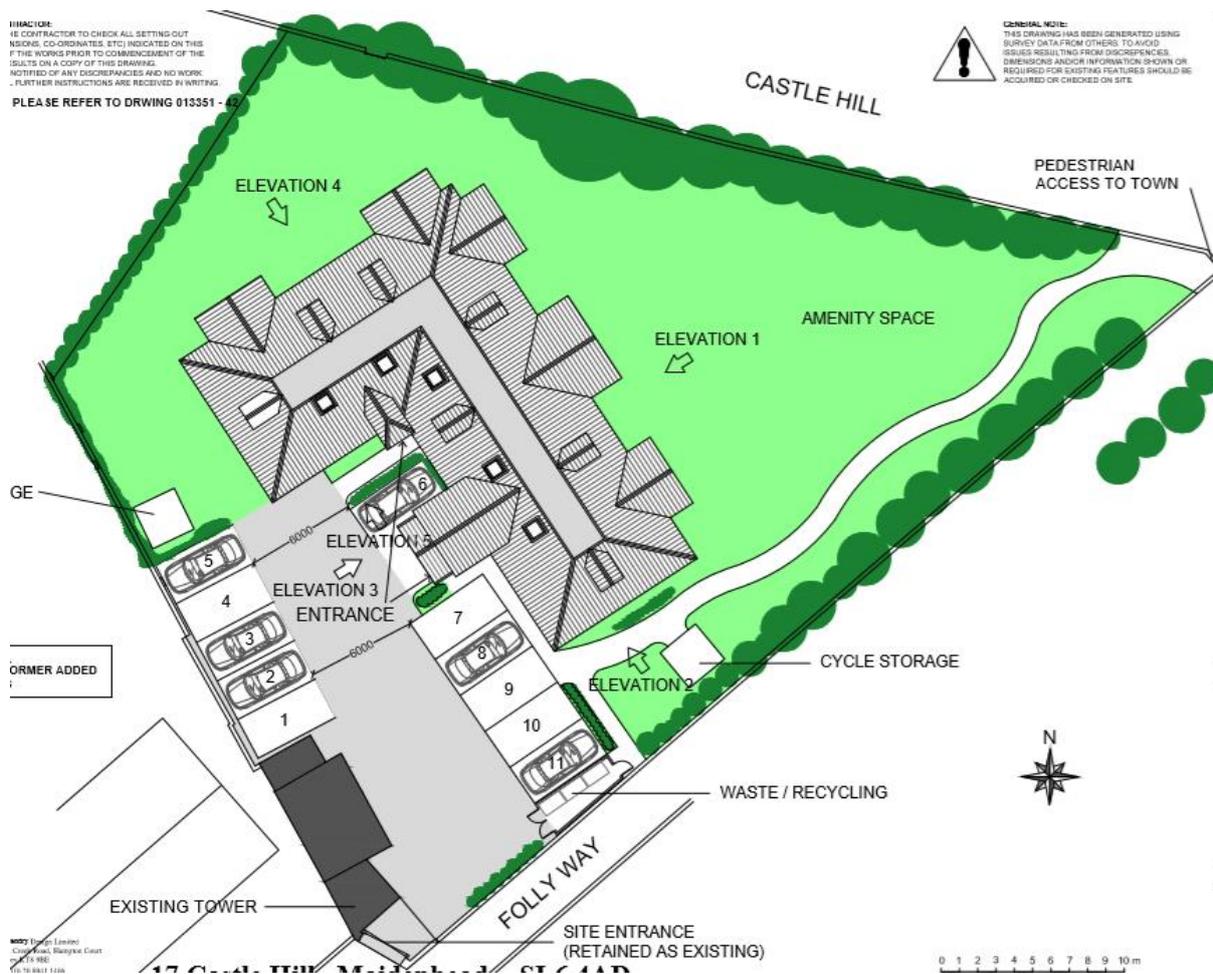
Appendix A – Site Location Plan



Appendix B – Proposed Site Plan

CAUTION:
 THE CONTRACTOR TO CHECK ALL SETTING-OUT
 MARKS, CO-ORDINATES, ETC INDICATED ON THIS
 DRAWING PRIOR TO COMMENCEMENT OF THE
 WORKS ON A COPY OF THIS DRAWING.
 NOTIFIED OF ANY DISCREPANCIES AND NO WORK
 TO BE COMMENCED UNTIL FURTHER INSTRUCTIONS ARE RECEIVED IN WRITING.
 PLEASE REFER TO DRAWING 013351 - 40

GENERAL NOTE:
 THIS DRAWING HAS BEEN GENERATED USING
 SURVEY DATA FROM OTHERS TO AVOID
 ISSUES RESULTING FROM DISCREPANCIES
 DIMENSIONS AND/OR INFORMATION SHOWN OR
 REQUIRED FOR EXISTING FEATURES SHOULD BE
 ACQUIRED OR CHECKED ON SITE.

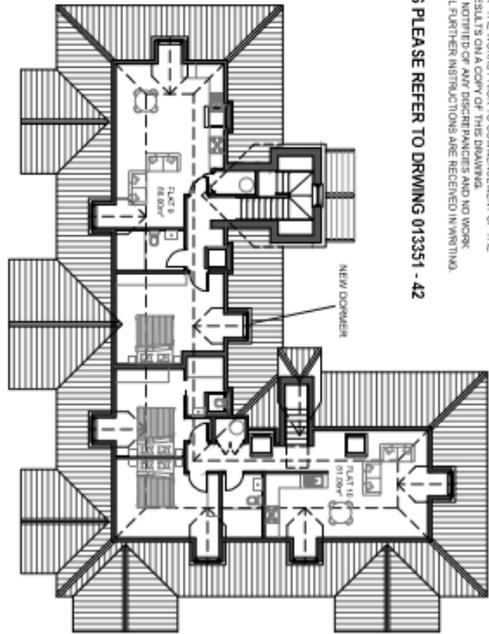


WSP Design Limited
 170-180, Market Street
 Adelaide, South Australia
 5000
 Tel: 08 8441 1111

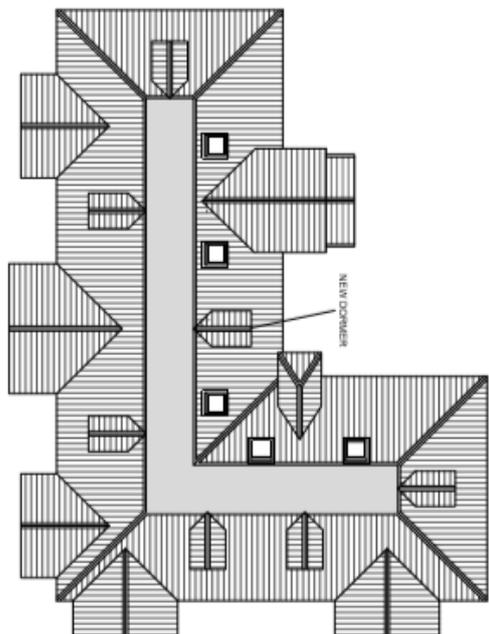
Appendix C – Proposed Floor Plans

BEIJING QI NOTE FOR CONTRACTOR
 IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK ALL SETTING OUT
 INFORMATION (LEVELS, DIMENSIONS, CO-ORDINATES, ETC.) INDICATED ON THIS
 DRAWING FOR THE WHOLE OF THE WORKS PRIOR TO COMMENCEMENT OF THE
 WORKS AND RECORD THE RESULTS ON A COPY OF THIS DRAWING.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE SETTING OUT
 WORKS AND SHALL BE COMMENCED UNTIL FURTHER INSTRUCTIONS ARE RECEIVED IN WRITING.

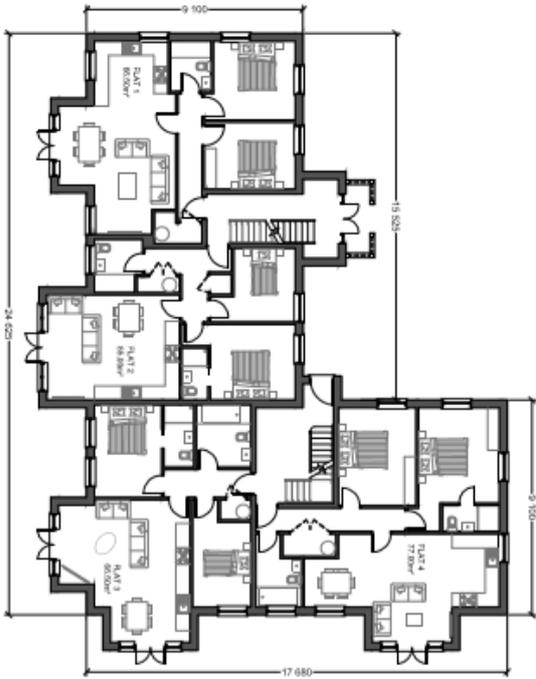
FOR ROOF DETAILS PLEASE REFER TO DRAWING 013351 - 42



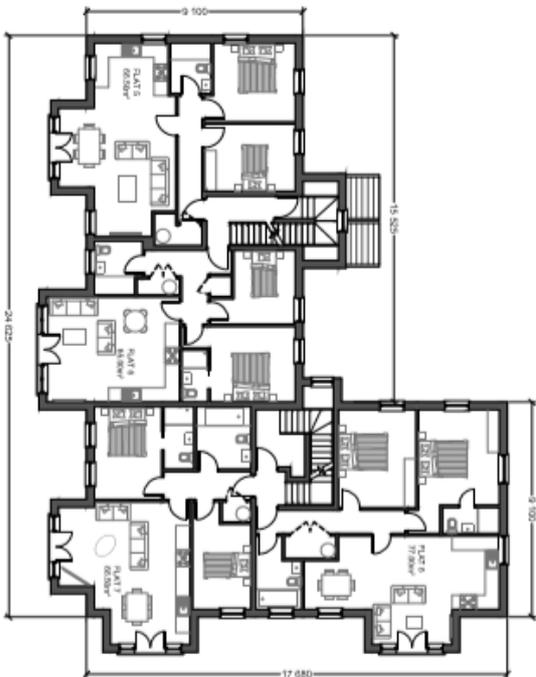
PROPOSED SECOND FLOOR PLAN



PROPOSED ROOF PLAN

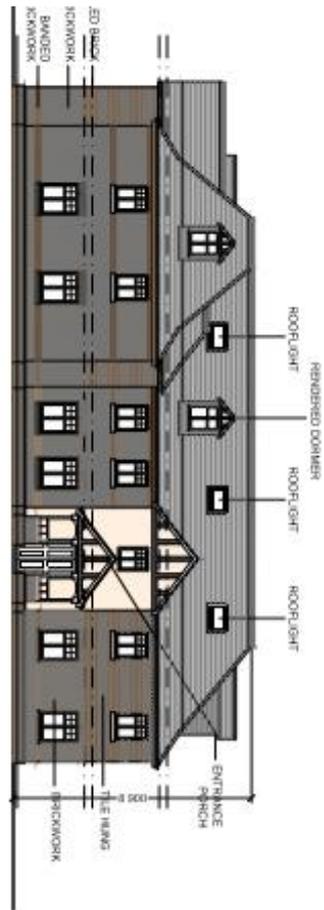


PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

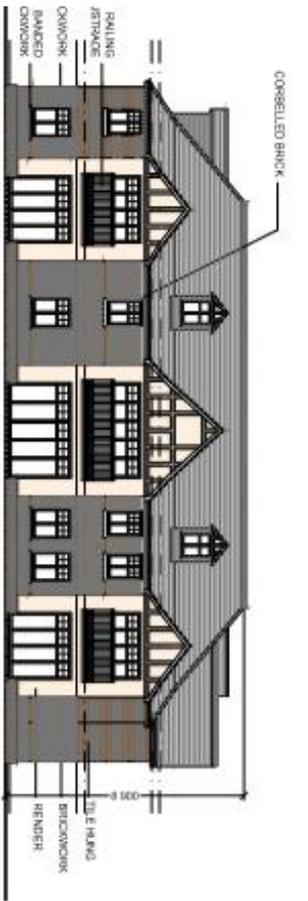
Appendix D – Proposed Elevations



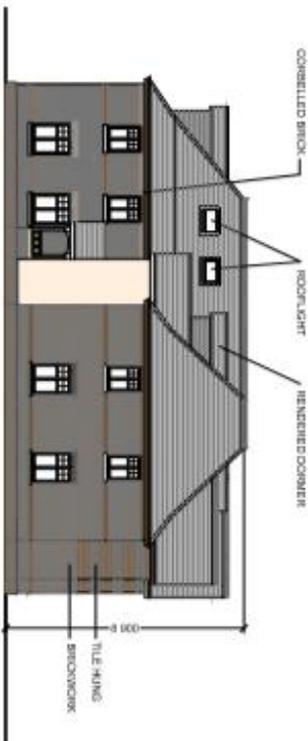
PROPOSED ELEVATION 3



PROPOSED ELEVATION 4



PROPOSED ELEVATION 1



PROPOSED ELEVATION 2