

## MAIDENHEAD DEVELOPMENT CONTROL PANEL

15 February 2023

Item: 2

<b>Application No.:</b>	22/01717/FULL
<b>Location:</b>	Land At Manor House Manor Lane And South of Manor Lane And Harvest Hill And East of Spring Hill Maidenhead
<b>Proposal:</b>	Residential development comprising 199 new homes with open and recreational space, landscaping, improved pedestrian and access links, SUDS and biodiversity features and other associated infrastructure
<b>Applicant:</b>	Mr Meredith
<b>Agent:</b>	Not Applicable
<b>Parish/Ward:</b>	Maidenhead Unparished/Oldfield
<b>If you have a question about this report, please contact:</b> Tim Chapman on or at <a href="mailto:tim.chapman@rbwm.gov.uk">tim.chapman@rbwm.gov.uk</a>	

### 1. SUMMARY

- 1.1 The application seeks detailed planning permission for 199 residential units on the site, between Harvest Hill Road and the A404 South West of Maidenhead town centre.
- 1.2 The proposal represents a substantial benefit in terms of the provision of housing (including affordable housing) in line with the Local Plan AL13 allocation, fully meets the sustainability requirements of the Council' Interim Sustainability Position Statement and would deliver significant biodiversity net gain on site.
- 1.3 The proposal provides the necessary funding to support the delivery of infrastructure in line with the adopted South West Maidenhead SPD. It would provide a high standard of accommodation and complies with relevant policies in relation to transport, landscaping, living conditions and housing mix.
- 1.4 Whilst there are areas where the proposed design could be further refined, it is considered to accord with the principles of the adopted South West Maidenhead SPD and overall the application is considered acceptable.

<b>It is recommended the Committee authorises the Head of Planning:</b>	
1.	<p>To grant planning permission with the conditions listed in Section 15 of this report subject to the following:</p> <ul style="list-style-type: none"> <li>• Confirmation following additional surveys carried out after 15<sup>th</sup> April 2023 that there are no Great Crested Newts present or confirmation that the applicant has joined the district licence scheme</li> <li>• The completion of a legal agreement to secure the following: <ul style="list-style-type: none"> <li>• Financial contributions towards necessary local infrastructure</li> <li>• Delivery of affordable housing</li> <li>• Delivery and maintenance of biodiversity net gain</li> <li>• Implementation and monitoring of travel plan</li> <li>• Delivery of custom build units</li> <li>• Building emissions review and any necessary offset contribution if unable to meet targets</li> </ul> </li> </ul>
2.	<p>In the event that either it is not satisfactorily demonstrated that Great Crested Newts would not be affected by the development and/or that the above undertaking is not completed the Committee authorises the Head of Planning to refuse planning permission on the basis of these two matters, at their discretion.</p>

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## **2. REASON FOR PANEL DETERMINATION**

- The Council's Constitution does not give the Head of Planning delegated powers to determine the application in the way recommended as it is major development; such decisions can only be made by the Committee.

## **3. DESCRIPTION OF THE SITE AND ITS SURROUNDINGS**

- 3.1 The site is approximately 7.21Ha and is situated to the south of the existing built up area of Maidenhead.
- 3.2 The site comprises two separate land parcels which are divided by a narrow rural lane known as Spring Hill. The western parcel currently comprises an undeveloped field. The eastern parcel currently comprises a residential dwelling known as Manor House which is a detached property set within substantial grounds. The site edges are mostly defined by non-native existing vegetation including trees and hedgerows.
- 3.3 The edges of the site are defined by the existing road network with the A404 delineating the southern boundary, Kimber's Lane defining the eastern boundary and Manor Lane and Harvest Hill Road defining the north western boundary.
- 3.4 Northwest of the site are the existing developments of Voyager Place (office use), the Holiday Inn (hotel) and a residential development scheme by Persimmon Homes.
- 3.5 Maidenhead Golf Course is to the Northeast of the site, whilst to the south west beyond the A404 lies an area of existing residential development. To the south east there is some sporadic development but the land remains predominately undeveloped to the boundary with the M4.
- 3.6 The site slopes from North to South, with the lowest points being Kimbers Lane to the South and East and the A404 slip road to the South West.

## **4. KEY CONSTRAINTS**

- 4.1 The following are the main constraints associated with the site:  
Tree Preservation Order

## **5. DESCRIPTION OF THE PROPOSAL AND ANY RELEVANT PLANNING HISTORY**

- 5.1 The application as originally submitted comprised 214 new homes as part of a comprehensive development.
- 5.2 The proposal was subject to amendments to address concerns raised. A first set of amendments were submitted in October 2022 which are as follows:
  - Reduction in the total number of homes proposed from 214 to 200 (now 199);
  - Reduction in the total number of apartments proposed and an associated increase in the number of houses proposed;
  - Introduction of affordable houses as well as apartments to provide a greater variety of affordable housing mix;
  - Changes to Harvest Hill Road, the main spine road through the development, and Kimber's Lane. This includes the provision of a convenient cycle and pedestrian access from the main spine road to the allocated housing site to the South of Kimbers Lane.
  - Amended layout to provide greater connections to the south/north/ west and to open views

from the scheme towards land to the north;

- Additional pedestrian route widening and additional tree planting and soft landscape areas;
- New green link provided to the west of the scheme, connecting in to the Orchards;
- Introduction of a new minimum 1.8m high acoustic barrier along the A404 boundary to reduce noise within the site.

5.3 Further amendments have been received in January 2023, including:

- Update of the proposed infrastructure funding in order to meet the requirements of the SW Maidenhead SPD;
- Update of the sustainability submission to meet the requirements of the ISPS
- Further revisions to improve connectivity to the wider area.

#### Access

5.4 The primary access to the site will be from Harvest Hill Road via a new spine road broadly parallel with Kimbers Lane to the South. Spring Hill has been re-defined as a key north-south pedestrian and cycle route linking with the central Village Green at the heart of the development.

#### Car Parking

5.5 In terms of car parking provision for the development, the proposed layout includes parking in garages, drives, parking courts and car ports. Car parking would be under the following maximums:

1 bed units – maximum 1 space

2 and 3 bed units - maximum 2 spaces

4+ bed units – maximum 3 spaces

In total 353 spaces would be provided, including 8 visitor spaces.

#### Cycle Parking

5.6 Cycle parking is provided throughout the development in the form of one space per home, These will be located in sheltered and secure designated storage areas for each of the houses, whilst secure communal cycle stores are proposed for the apartments.

#### Residential

5.7 The proposal comprises a series of clusters and terraces of housing varying from 2 to 3 storeys in height. There is one block of four storeys proposed for the westernmost point.

5.8 Each dwelling will have access to appropriate amenity space, with all apartments having access to private amenity space, and private gardens for the dwellings. Communal open and play space is provided across the site.

#### Elevational treatment

5.9 The proposed materials for the development include red brick, slate roofs, red tiled roofs, cream render and tile hanging all of which will be combined with appropriate detail features including sash windows, chimneys and brick detailing reflecting the wider context within which the site is located.

#### Custom Build

5.10 The developers propose to address the need for Self and Custom Build Homes through the use of a design code giving purchasers a palette of design elements, including windows, porches and external materials, from which to pick.

## 5.12 Dwelling Mix

The housing mix for the proposed development is summarised below:

### **Whole Scheme Accommodation Schedule (Includes both Private and Affordable Dwellings)**

1-bed Apt	2-bed Apt	3-bed Apt	2-bed House	3-bed House	4-bed House	5-bed House	Total
22	35	8	8	68	43	15	199
11%	17%	4%	4%	34%	22%	8%	100%

5.13 Of the above, 60 are proposed to be affordable

#### Landscaping and trees

5.14 The site is agricultural land with scrubland, trees and natural vegetation. The proposal involves the creation of a series of green spaces together with a number of new and existing routes, as well as private balconies, gardens and communal open space.

5.15 In order to compensate for trees that are being removed, it is proposed to plant more than 200 new trees. Most trees being removed are category U with only a limited number of category B trees proposed to be removed.

#### Flooding and drainage

5.16 The proposal includes SuDs mechanisms to address existing surface water flooding and address the needs created by the new housing. The proposals include provision for ponds within the landscaped area abutting the A404(M).

#### Ecology

5.17 The site is largely scrub and existing woodland, much of which is proposed to be lost. It is proposed to create a landscaped area abutting the A404(M) boundary as well as green spaces across the site.

## **6. Relevant planning history**

6.1 There is no relevant planning history for this site. The site's current and previous use was as agricultural land and a single dwelling.

6.2 Prior to the submission of this application in November 2021, the Applicant submitted an Environmental Impact Assessment (EIA) Screening Opinion Request to RBWM to confirm that the proposed development was not EIA Development. RBWM confirmed in a formal Screening Opinion that an EIA is not required.

## 7. DEVELOPMENT PLAN

7.1 The main relevant policies are:

Issue	Adopted Local Plan Policy
Spatial Strategy	SP1
Climate change	SP2
Sustainability and placemaking	QP1
South west Maidenhead strategic placemaking area	QP1b
Green and blue infrastructure	QP2
Character and design of new development	QP3
Building height and tall buildings	QP3a
Housing development sites	HO1
Housing mix and type	HO2
Affordable housing	HO3
Managing flood risk and waterways	NR1
Nature Conservation and Biodiversity	NR2
Trees, woodlands, and hedgerows	NR3
Environmental protection	EP1
Air pollution	EP2
Artificial light pollution	EP3
Noise	EP4
Contaminated land and water	EP5
Infrastructure and developer contributions	IF1
Sustainable transport	IF2
Open Space	IF4
Utilities	IF7
Site allocation	AL13

## 8. MATERIAL PLANNING CONSIDERATIONS

### 8.1 National Planning Policy Framework Sections (NPPF) (2019)

Section 4- Decision-making

Section 5. Delivering a sufficient supply of homes

Section 6. Building a strong, competitive economy

Section 7. Ensuring the vitality of town centres

Section 8. Promoting healthy and safe communities

Section 9- Promoting Sustainable Transport

Section 11. Making effective use of land

Section 12- Achieving well-designed places

Section 14- Meeting the challenge of climate change, flooding and coastal change

Section 15- Conserving and enhancing the natural environment

### 8.2 **Supplementary Planning Documents**

- Planning Obligation and Developer Contributions SPD
- Planning for an Ageing Population SPD
- Sustainable Design and Construction SPD
- Borough Wide Design Guide SPD
- South West Maidenhead SPD

### 8.3 **Supplementary Planning Guidance**

- Affordable Housing Planning Guidance

#### 8.4 Other Local Strategies or Publications

Other Strategies or publications material to the proposal are:

- RBWM Townscape Assessment
- RBWM Parking Strategy
- RBWM Corporate Plan
- [RBWM Environment and Climate Strategy](#)
- [RBWM Community Infrastructure Levy Charging Schedule 2020](#).
- RBWM Tall Building's Strategy

### 9. CONSULTATIONS CARRIED OUT

#### Comments from interested parties

- 9.1 133 occupiers were notified directly of the application. The planning officer posted a notice advertising the application at the site and the application was advertised in the Local Press.
- 9.2 Revisions were received in October 2021 and January 2022 and further public consultation was undertaken on 17<sup>th</sup> January, which put forward a 14 day deadline for responses. However, all comments received to date have been reported. Representations received regarding both the revised and original proposals are summarised below. Any further representations received will be summarised in an update report to the committee.
- 9.3 To date a total 18 objections were received; 1 comment was received in support of the scheme.

Topic	Comment	Where in the report is this considered
Overall Density	214no. Dwellings on the site is too many. Suggestions from the comments range from 120 - 180 dwellings. Reference is made to the Draft BLP stages where the site was allocated as its own allocation, HA8.	10.1  The Site was allocated by RBWM as part of the Local Plan process. Prior to being included in allocation AL13 it was as draft Allocation HA8.
4No. Houses on Manor Lane	4no. Dwellings at 2.5 storeys in this area is too much and not in keeping with the rest of Manor Lane. These instead should be 2no. larger detached dwellings. Concerns over parking for these dwellings, and 'inevitable' use of Manor Lane for on street parking.	10.22; 10.38  10.28
Manor Lane & Harvest Hill Junction	Concerns over visibility at corner after junction, where road narrows significantly. No footpath for pedestrian access, dangerous for families walking along the road.	10.27; 10.30; 10.25
Parking	Concerns on overall number of spaces and lack of visitors parking. Worries about on street parking, delivers, tradesmen and emergency access.	10.28
Trees	Retain mature trees onsite	10.35
Harvest Hill Road	Pavement required along entire length of Harvest Hill Road, concerns over disruption	10.25

Improvements	for locals whilst works are being carried out.	The temporary impacts of construction works are not material to this planning decision. Other legislation, such as the Environmental Protection act and highways legislation, are relevant to such concerns.
Traffic	Concerns over journey times along Harvest Hill Road and Shoppenhangers and the impact of the additional cars on these areas and journey times.	10.27
Drainage	Surface water overflowing on to site, the number of proposed houses will have a significant impact on drainage, where will it all go.	10.31; 10.32
Green Space	Due to density, gardens are too small and there is a lack of public green space which is not in keeping with the character of the area.	10.40
Disruption	Long build times creating disruption for both the local residents and those from the wider Maidenhead area. Construction traffic should be limited to Braywick Road and Harvest Hill Road.	The temporary impacts of construction works are not material to this planning decision. Other legislation, such as the Environmental Protection act and highways legislation, are relevant to such concerns.
Local Facilities GP's, Shops, etc.	Lack of access to local facilities including GP's, shops and post offices for existing residents, problem will only be enhanced with additional houses.	10.15; 10.16
Noise	Concerns over noise during construction period	The temporary impacts of construction works are not material to this planning decision. Other legislation, such as the Environmental Protection act and highways legislation, are relevant to such concerns.
Archaeology	Careful review needs to be conducted to avoid the disturbance of likely archaeological remain located between the boundary and	Archaeological site inspections have been carried out, including the digging of trial pits, and found nothing of

	Bramble Cottage	any archaeological significance on site. This has been signed off by Berkshire Archaeology.
Character	Some of the house designs are not in keeping with the local area.	10.22
SPD & EIA	SPD and EIA Screening not finalised prior to submission	An EIA is not required for the development. While the application was submitted prior to adopted of the SPD, that SPD has now been adopted and the application has been assessed in relation to its requirements.
Policing	Concerns over who will police the new developments	The development will be policed by the existing forces/groups active in the local area. This is not a material consideration for this application.
Emergency Access	Roads are not wide enough for emergency access if there is on street parking.	10.27
Cycling	Concerns over number of cyclists using the roads at any one time, no cycle paths located on Harvest Hill Road, Kimbers Lane, or Spring Hill	10.25

### Support

Downgrading Spring Hill	General support for Spring Hill being downgraded to pedestrian/cycle only	10.25
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Consultee	Comments	Where in the report is this considered
Natural England	No comments	
Environmental Protection: Noise	The glazing and ventilation systems acoustic performance specifications must meet the criteria set out within this report to ensure the internal noise levels are met within all properties on the development site.	10.37 Recommended conditions to ensure updated surveys and secure any necessary mitigation.



	There has been an upward trend in people returning to their place of work. This has meant there is more traffic on the roads. In the submission of 16/06/2022 the +3dB correction for the lower traffic due to the pandemic was removed stating that the trend was to work from home for the 'foreseeable future' however this is a long-term development and can't rely on people not going back to their place of work.	
Environmental Protection: Air Quality	No comments except for suggesting condition that no development shall take place until a Construction Environmental Management Plan has been approved by the Local Planning Authority.	Suggested condition is not considered to meet the relevant tests as it would not be reasonable or necessary.
Environmental Protection: Contamination	No comments except for suggesting a condition that if unexpected contamination is found at anytime when carrying out the works work must stop and the contamination should be reported to the LPA within 2 working days. An investigation and risk assessment should then be carried out.	This will be secured as part of recommended conditions.
Highways	<p><u>Proposed Conditions</u></p> <ul style="list-style-type: none"> <li>• CEMP</li> <li>• Parking and Turning Layout</li> <li>• Car Park Management Plan</li> <li>• Cycle Parking</li> <li>• Offsite Highways Works and Adoption Under Section 38</li> </ul>	<p>vii</p> <p>As above it is not considered that a CEMP condition would meet the relevant tests.</p> <p>Other recommended conditions will be secured and further agreements will form part of the S106.</p>
Drainage	No objection subject to recommended conditions	<p>viii</p> <p>Recommended conditions will be secured as part of permission.</p>
Landscaping	No objections on the landscape design of the scheme but suggest that all hard and soft landscape details should however be pre-commencement condition as part of the planning approval. It should provide information of all external landscape construction details, planting schedules and tree planting schedules along with the submission of all external materials. In addition a 25-year maintenance plan should also be submitted under a pre-occupation condition.	<p>ix</p> <p>Recommended conditions will be secured as part of permission.</p>
Fire	No comments	

Arboriculture	No objection subject to an Arboricultural Method Statement and Tree Protection Plan being produced under condition.	ix Recommended conditions will be secured as part of permission.
Ecology	Biodiversity net gain of 13.78% on site and 20.8% including offsite compensation can be achieved. Suitable conditions and S106 recommended.  Impact on protected species bats and badgers, designated sites, invasive species and biodiversity enhancements acceptable subject to recommended conditions.  Concerns remain in absence of further information on Great Crested Newts or confirmation entered into District Licence scheme.	iii  Additional information was received from the application proposing an increase in biodiversity net gain following receipt of these comments.  Recommended conditions will be secured as part of permission.  Resolution to grant planning permission is subject to formal confirmation that applicant has entered into district licence scheme and imposition of necessary conditions.
Affordable Housing	Supportive of proposed housing mix and tenure proposed for affordable housing	iv  S106 agreement will secure affordable housing as part of any permission.
Archaeology	No objection  No further investigative work required.	

## Others

Group	Comment	Where in the report this is considered
Binfield Badger Group	Expresses concern about the impact of the proposal upon badgers	10.8
Wild Maidenhead	1. does not comply with the mitigation hierarchy or deliver at least 10% Biodiversity Net Gain as required by local plan policy NR2, 2. nor does it adequately protect trees and hedgerows as required by local plan policy NR3 3. provides insufficient evidence for a green spine and enhanced connectivity of biodiversity habitats for this part of BLP site AL13, or how it will contribute to these for the whole of site AL13 (AL13(2 and 8) NR2(3 and 5))	iii; ix

## **10. Analysis**

- i. Principle of development
- ii. Environmental Sustainability
- iii. Ecology and Biodiversity
- iv. Housing Mix and Affordable Housing
- v. Social and Community Infrastructure
- vi. Design
- vii. Transport
- viii. Flooding and drainage
- ix. Landscape and trees
- x. Living Conditions

### Principle of development

10.1 The Local Plan allocation for the site proposes housing as the preferred use of this site. The site forms part of Site Allocation AL13: Desborough, Harvest Hill Road, South West Maidenhead “Approximately 2600 residential units. Educational facilities including primary and secondary schools. Strategic public open space, formal play and playing pitch provision. Multi-functional community hub including retail as part of a Local Centre”. The adopted South West Maidenhead SPD identifies the application site for residential purposes. As is set out in the following sections of the report, the scheme is considered acceptable in terms of design and housing mix. As such the proposed 199 units is considered acceptable and accords with the amount of development envisaged as part of the wider allocation. The proposal complies with policy SP1, QP1b and the objectives of the SW Maidenhead SPD.

### ii Environmental Sustainability

10.2 The proposals have been amended since originally submitted in relation to energy performance and sustainability. The scheme would now include the following measures:

- Air source heat pumps for all dwellings and solar PV provision on usable roofs achieving 75.8% energy demands met from renewable energy sources
- Achieving net zero carbon dioxide emissions
- Water efficiency measures to achieve maximum internal daily water consumption of 105 litres per day
- 20% of parking spaces will be active for Electric car charging with the remainder having passive provision for the future
- Recycling for domestic and construction related materials
- Following principles of circular economy and seeking to source materials locally where possible

10.3 To achieve the outcomes above the development includes the provision of 743 kWp of solar pv generating circa 507,253 kwh/year. This represents a 5.8% increase in the Borough’s total solar pv generation and a 6.85% increase in the Borough’s total renewable capacity when compared to

the 2019 baseline (Renewable electricity by local authority, Department for Business, Energy and Industrial Strategy, 2019) which informed the Environment and Climate Strategy.

- 10.4 The proposal would therefore be targeting an exemplar scheme meeting the definition of net-zero carbon set out within the Council's Interim Sustainability Position Statement. Therefore no carbon offset payment is required but it is recommended that the legal agreement secures a final review of emissions and if targets have not been achieved an offset payment would be due at that stage.
- 10.5 The proposal therefore complies with policy SP2, the Interim Sustainability Position Statement and meets the objectives of the SW Maidenhead SPD. The delivery of a net zero scheme on this allocated site is a significant benefit of the proposed development and would contribute to achieving the ambitions set out within the Corporate Plan and the Borough's Environment and Climate Strategy.

iii Ecology and Biodiversity

- 10.6 Additional information has been supplied by the applicant since submission to respond to comments regarding biodiversity net gain and ecology. The scheme would achieve a 21.43% biodiversity net gain. This is achieved through the landscaping and habitat enhancements proposed on-site and off-site wildflower planting to the surrounding highways verges. Relevant conditions and clauses within the legal agreement would be secured as part of the permission to ensure that the gain is delivered and maintained. The proposed level of biodiversity net gain is a significant benefit of the development.
- 10.7 Following the submission of additional information and subject to the necessary conditions, the scheme would be acceptable in relation to control of invasive species, impact on dormice and inclusion of biodiversity enhancements.
- 10.8 In relation to the impact on other protected species, the impact on bats would be acceptable subject to conditions relating to method statements, lighting and the relevant Natural England Licence. The impact on badgers would also be acceptable subject to conditions relating to the relevant Natural England licence, method statement and mitigation strategy. Conditions regarding the proposed landscaping should also ensure that the details provide the necessary foraging area.
- 10.9 In relation to Great Crested Newts, the information submitted has not yet satisfactorily demonstrated that they will not be affected by the proposed development. This is because no up to date survey has been provided and neither has there been confirmation that the applicant has entered into the District Licence scheme (which would remove the need for further surveys to be submitted). Whilst the results of the surveys to date have indicated that GCN are not present, it is necessary for a further survey to be carried out and this cannot be done until after 15<sup>th</sup> April this year. It is therefore proposed that the recommendation to approve is subject to confirmation from a final survey carried out after 15<sup>th</sup> April that there are no GCN present or if that survey should show that there are, the applicant would be required to confirm they have entered into the District Licence scheme before permission is granted.
- 10.10 Subject to the conditions and recommendations set out above, the proposal would have an acceptable impact on biodiversity and ecology. It would comply with policy NR2 and NR3 as well as the objectives of the SW Maidenhead SPD. The delivery of the proposed biodiversity net gain would be a significant benefit of the proposal.

iv Housing Mix and Affordable Housing

- 10.11 The proposed dwelling mix aligns with the proportions in the SW Maidenhead SPD as set out below:

**Whole Scheme Accommodation Schedule (Includes both Private and Affordable Dwellings)**

1-bed Apt	2-bed Apt	3-bed Apt	2-bed House	3-bed House	4-bed House	5-bed House	Total
22	35	8	8	68	43	15	199
11%	17%	4%	4%	34%	22%	8%	100%

10.12 The proposed mix is welcomed and would ensure the delivery of family sized dwellings on this part of the allocation as envisaged in the objectives of the SW Maidenhead SPD . The proposal would also include 5% of units to be delivered as custom build where purchasers would be able to select a degree of customisation. Whilst there is no provision for self-build homes, this complies with the wording of policy HO2. The mechanism for the custom build delivery will be secured via the proposed legal agreement.

10.13 The proposed affordable housing size and tenure mix is set out below:

	1BF	2/3BF	2BH	3BH	4BH	
Social rent			5	16	6	27 (45%)
Affordable rent	9	9	3			21 (35%)
Shared ownership		12				12 (20%)
Total	9 (15%)	21 (35%)	8 (13%)	16 (27%)	6 (10%)	60 (100%)

The total number of dwellings would be 199 and 30% (60 units) would be affordable which would comply with policy. The proportions of dwelling types align with the SWM SPD and are acceptable. The proposed affordable housing shows an acceptable tenure split in accordance with Policy HO3. The social rent properties are all houses and will meet the needs of families on lower incomes. The proposed dwelling mix has changed following amendments to provide more houses and less flats. It is considered that the proposed affordable housing would be a benefit of the scheme.

10.14 Accessible and adaptable properties are being provided in line with policy HO2 and this will be secured by condition. The proposal would comply with policies HO2 and HO3 as well as the objectives of the SW Maidenhead SPD.

v Social and Community Infrastructure

10.15 The impact of the proposal in terms of community infrastructure, including funding towards the provision of new educational facilities within the wider AL13 allocation is considered acceptable, given the proposed off-site infrastructure improvements included within the revised Planning Obligation submission. The applicant has agreed to enter into a legal agreement to provide financial contributions towards the delivery of infrastructure to offset its impact on the local area. This would include contributions towards the improvement of local junctions and highways and towards the provision of community facilities for the allocated site

10.16 The proposed approach has followed the methodology set out in the SPD but has reviewed the appropriate level of contribution towards the secondary school. Having reviewed this, officers are happy that the proposed level of contribution would offset the impacts of the proposed scheme and so would be acceptable. The proposal would therefore comply with policy IF1 and the objectives of the SW Maidenhead SPD.

vi Urban Design

10.17 Over the course of the application the layout of the proposed scheme has been reviewed and amended in order to respond to concerns raised regarding how it responded to the design principles of the SW Maidenhead SPD. In particular:

- The need to orientate the development towards the local centre as the main focus of the neighbourhood
- Connections between the sites to the south of Harvest Hill Road and those to the north need to be considered carefully as they provide the means by which residents are connected in a sustainable way (walking, cycling or using public transport) with the Town Centre and the Railway Station.
- This particular site to the south of Harvest Hill Road has a role to play in improving the connection for the whole of the SWM area with Ockwells Park as a strategic green open space as it is bounded on the south eastern edge by Kimbers Lane.
- The site is just one part of an overall new neighbourhood being created to the south of the SWM area. In this respect it is important that development does not become inward looking but is integrated with areas to east, west and south, including existing and new development, so that residents feel part of the Harvest Hill neighbourhood;

10.18 The scheme creates a centre around a village green at the heart of the site with the hierarchy of building scale reducing to the edges which includes the edges along Harvest Hill Road and Kimbers Lane. In particular where these two meet at the junction of Kimbers Lane with Harvest Hill Road, the scale and arrangement of development is not considered to match the importance of this location in the overall strategy of the Local Centre being the focus of the Harvest Hill Neighbourhood and the importance of orientation towards, and movement to and from the Local Centre. However, as is discussed further below, it is considered that the layout of the scheme would result in a good standard of development and is acceptable in the context of this site.

10.19 In the majority of the layout the design has been evolved to create good relationships between individual buildings and spaces. The site layout has created a series of single sided urban blocks by virtue of prioritising certain constraints above other design considerations. This has resulted in a number of places where the rears of properties align to a street. The layout as designed does impact on the ability of Harvest Hill Road and Kimbers Lane to fully perform the role envisaged within the policy and SPD. However in certain locations, most notably the Eastern end of Kimbers Lane, this design approach has allowed for the positive retention of the existing trees and vegetation. The impact of the proposed layout therefore needs to be balanced against ecological impacts of alternative layouts which would address these roads differently. It is considered that the proposed scheme strikes the appropriate balance.

10.20 The legibility of east west routes has been developed to provide good connections between this and neighbouring sites across the area to the south of Harvest Hill Road. The layout would allow connectivity through the site for pedestrians and cyclists from Manor Lane, Kimbers Lane, Harvest Hill Road and to the neighbouring development as well. This will help to ensure that the scheme is not overly inward looking and aligns with the objectives of the SW Maidenhead SPD.

10.21 Some large parking areas are located at junctions, or important corners around the site layout and could give an impression of car dominance of the streets and public realm. There are also areas where the rears of properties align to streets. It is recommended that a condition requiring approval of details of proposed boundary treatments seeks to address this matter to ensure that the most appropriate treatments are used to soften the appearance of these areas and ensure they do not create an unwelcoming public realm.

- 10.22 The design of the proposed buildings follows three character types. The character of the design is based on local, established villages within Maidenhead, including Holyport, Cookham and Bray. These have picked up on a number of contextual cues and respond appropriately in typology and materials to the wider area. The approach is considered acceptable and, whilst responding to context, the site is also of a scale and location to establish its own character. Final approval of the proposed materials is recommended under condition to ensure that the highest quality scheme is delivered.
- 10.23 As noted above there are a number of areas where the design could be further refined but these need to be considered against the impact of such changes upon other important considerations including:
- The impact on the amenity and outlook of existing properties, particularly on Manor Lane and Harvest Hill Road;
  - The impact on ecology, trees and the protection of the existing natural habitat.
  - The location of the site relative to the surrounding sites that form the wider allocated site.
  - The layout and topography of the application site.
- 10.24 It is considered that in this context, the proposed scheme proposes a high quality design which strikes an appropriate balance between the principles of the SPD and the specific constraints of this site. It would comply with policy QP1b and QP3 as well as the Borough Wide Design Guide and the objectives of the SW Maidenhead SPD.

vii Transport

- 10.25 The main access off Harvest Hill would take the form of a priority T-junction. The second access from Kimbers Lane has would be an emergency access only, with vehicle access controlled through removable bollards. Pedestrian / cycle access will be retained from Kimbers Lane. A footpath along the boundary to better connect Manor Lane with the eastern parcel of the site and through to Harvest Hill Road is proposed. Harvest Hill Road is being widened as part of the wider highways works to be carried out by RBWM to incorporate separate pedestrian and cycle ways. Kimber's Lane and Spring Hill have been identified by RBWM as walking / cycle ways as part of their LCWIP. A part of this development Spring Hill is proposed to be made pedestrian/cycle only, making it safer for pedestrians. A designated 3m wide pedestrian and cycle link has been provided through the centre of the site connecting Harvest Hill Road to Kimbers Lane providing safe access. A pedestrian and cycle access has been provided opposite the AL13 housing allocation south of Kimbers Lane which will allow convenient access across Kimbers Lane. Final details of the proposed cycle and footway materials will be secured by condition.
- 10.26 It is proposed to create new footways south of Harvest Hill Road which would be delivered and secured by the developer via a S278 Agreement (Highways Act 1980) The uncontrolled crossing would be replaced by the Tiger crossing and delivered by the developer via a Section 106 contribution. Wider transport and infrastructure improvements required to mitigate the impacts of the development will be secured through the S106 contributions from the site and CIL.
- 10.27 The Transport Assessment reports that the internal road network will be designed to contain vehicular speeds to a 20mph limit, and this is enforced by traffic calming measures across the estate. The development also proposes dedicating the spine road to the Borough's Highway Authority, which would be covered by a Section 38 Agreement (Highways Act 1980). Comments have raised concerns regarding the safety of proposed access but no road safety issues were identified with the junction. A highways impact assessment has been undertaken for each of the main junctions around the development. This assessment shows the development works within the current capacity and has a very minimal impact on waiting times at junctions and queues, generally less than a second and less than a one vehicle respectively. The impact of the proposal in terms of highways congestion is considered acceptable, given the proposed off-site infrastructure improvements that will be secured via the legal agreement.

- 10.28 The levels of parking have been reduced since the submission of the application. This is to reflect that whilst the site currently meets the definition of poor accessibility (more than 800m from a railway station), the proposed development of the wider allocation and related infrastructure improvements will improve the accessibility of the site. Moreover, developments should seek to reduce the reliance on the private car in line with sustainability objectives. Having reviewed the scheme, the garages proposed for the dwellings do not meet the size to provide a usable car parking space and cycle parking. These therefore are not counted as parking spaces. Overall 353 car parking spaces will be provided with 1 bed units having a maximum of 1, 2 and 3 beds having a maximum of 2 spaces and 4+ bed units having a maximum of 3 spaces. A small number of visitor spaces are also provided. The level of parking provision is considered acceptable for this site given its relationship to the wider allocated site and current levels of accessibility. It is not considered that the proposal would give rise to significant additional on-street parking in the surrounding area.
- 10.29 A comprehensive travel plan has been submitted that satisfies the Borough's requirements and will be secured via the proposed legal agreement. Tracking for emergency vehicles and refuse vehicles has been carried out as part of the submission and the tracking has confirmed that emergency vehicles will be able to gain suitable access across the development.
- 10.30 The proposal is acceptable in terms of access arrangement and road safety. The amount of car and cycle parking is accepted, subject to the recommended condition, as are arrangement for waste and emergency access. The proposed improvements to accessibility for pedestrians and cyclists are welcomed. Subject to the recommended conditions and legal agreement the proposal would comply with policy IF2 and the objectives of the SW Maidenhead SPD.

viii Flooding and drainage

- 10.31 The site lies with Flood Zone 1 and would not be at risk from fluvial or groundwater flooding. The proposals have considered how to mitigate the risk of surface water flooding. The proposal has been designed to cope with surface water runoff from all 199 homes, the additional flow from the existing houses, and the adjacent new build development which is achieved through SuDS features. In certain areas surface water runoff will be used as a biodiversity feature, including the pond and swales. All surface water will be discharged into existing pipework, which it is not currently doing, hence there being a large amount of sitting water.
- 10.32 This topic has been the subject of detailed assessment and consideration by Lead Local Flood Authority. Revisions have been submitted and are awaiting sign-off by the relevant agencies. It is however clear, that the development an acceptable technical outcome can be achieved and the matter can be appropriately dealt with by condition.

ix Landscape and trees

- 10.33 There is a well-developed network of walking and cycling infrastructure proposed and materials chosen to make these enjoyable options. The character of Spring Hill can be sympathetically detailed to keep the rural character that it currently has. Mix native hedgerows can provide the privacy to the houses and help retain the character of the route.
- 10.34 The planting strategy complements the character of the place. The provision of detailed planting plans, tree planting plans and planting schedules and a maintenance plan for the landscape character areas as well as a materials palette for external areas are necessary to ensure this occurs.



10.35 The quality of existing vegetation on site is relatively low with the wooded area to the south of the site containing predominantly low-quality trees with a small number of mature trees. The mature trees on site will be retained and managed with the low-quality trees generally removed. Over 200 trees of varying maturity will be planted as part of this application and the new trees will be carefully selected to improve the sites biodiversity and integrate into the wider landscape whilst retaining the sense of maturity onsite.

10.36 The proposal is considered acceptable in terms of landscaping and arboriculture. It would comply with policy NR3.

x Living Conditions

10.37 Given the limited interface between the proposed development to existing homes, to the North and adjoining the site on Manor Lane and Harvest Hill Road, there is unlikely to be a significant impact upon the amenity of existing dwellings, in terms of loss of privacy, sunlight, daylight, overshadowing and overlooking. Noise concerns have been addressed with the provision of a 1.8m acoustic fence at the Southern boundary.

10.38 Comments have raised concerns regarding the relationship with properties on Manor Lane. The 4no. houses have been designed with reference to the scale of Sunny Cottage to Bramble Cottage which are adjacent to proposed homes. These houses are all 2-storey, three of which are semi-detached and one detached, with a total of three driveways onto Manor Lane. Due to the change in levels, the proposed dwellings being 2.5 storeys does not significantly increase the ridge height above that of the existing properties on our side of Manor Lane. However, to further reduce the visual impact, a landscape buffer has been included and the home closest to the boundary has been handed to create greater separation to the adjoining property.

10.39 All the proposed units would meet the national space standards for internal space. A very small number of flats would be single aspect but this is on balance considered acceptable given that the overall quality of the accommodation would be good. All units have access to private amenity space. Whilst a small percentage of units have a shortfall in the amount of private amenity space, this is on balance considered acceptable given the large areas of public open space provided on site.

10.40 The site provides 1.62ha of public open space, which is in line with the policy, as well as being in proximity to other public play areas such as Ockwells Park. Due to the changes in overall dwelling numbers, more houses with gardens have been provided, all of which are designed to provide sufficient private amenity space based on the dwelling's size. Playspace is provided within the development.

10.41 Overall the proposal is considered to be acceptable in terms of its impact on residential amenity, including any potential impact upon existing neighbours including residential properties. It would also provide a good standard of accommodation for future occupiers.

## **11. Community Infrastructure Levy**

11.1 The application would be liable for CIL. The scheme would create 20,166 net additional sq m of residential floorspace. The CIL charge for the proposed development would be £315.55 per sq m. The monies raised from the levy on this site would contribute towards the delivery of the necessary infrastructure in the Borough, such as improvements to the strategic highways network.

## **12. Planning Balance**

12.1 In terms of the planning balance the harms and benefits of the proposal should be considered.

12.2 The benefits of the proposal include:

- The delivery of 199 new homes of which 60 are to be affordable on a site allocated for housing in the Local Plan;
- Full compliance with the Borough's Interim Sustainability Statement in regards environmental sustainability and potential for an exemplar net zero development in this important location;
- The provision of necessary infrastructure, both on-site in the form of walking and cycling infrastructure, but also off-site via an appropriate financial contribution, in accordance the SW Maidenhead SPD.
- Provision of significant biodiversity net gain on-site and further off-site compensation proposed
- Creation of 1,000 construction jobs, sustained over the build period;

12.3 The harms of the proposal include limited areas of the site where the design could be further improved.

12.4 The harms of the proposed scheme should only be given limited weight whereas the benefits would have significant weight in the planning balance. Therefore the benefits outlined above clearly outweigh the harms.

### **13 CONCLUSION**

13.1 As set out in the planning balance, the limited harms of the proposed development are clearly outweighed by the significant benefits of the scheme.

13.2 The report sets out that the proposal would comply with all other relevant policies and would be acceptable. The application is therefore recommended for approval subject to the relevant conditions, legal agreement and confirmation that the applicant has entered into the District Licence scheme.

### **14. APPENDICES TO THIS REPORT**

- Appendix A - Site location plan
- Appendix B – Proposed Site Plan
- Appendix C – Proposed Phasing Plan
- Appendix D – Proposed housing types
- Appendix E – Proposed plans and elevations

### **15. CONDITIONS RECOMMENDED FOR INCLUSION IF PERMISSION IS GRANTED**

1 The development hereby permitted shall be commenced within three years from the date of this permission.

Reason: To accord with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

2 The development hereby permitted shall be carried out in accordance with the approved plans listed on the drawings issue sheet current at O427.REGISTER.001 and received by the Local Planning Authority on 31st January 2023.

Reason: To ensure that the development is carried out in accordance with the approved particulars and plans

- 3 Prior to the commencement of development above damp-proof course in each phase details of all external materials, shall be submitted to and approved in writing by the Local Planning Authority. This shall include all materials to be used as part of the hard landscaping within the relevant phase. The development shall be carried out in accordance with the approved details unless otherwise agreed in writing with the Local Planning Authority.  
Reason: In the interests of the visual amenities of the area.
- 4 Prior to the first occupation of any dwelling in each phase,, full details of both hard and soft landscape work for that phase shall be submitted to and approved in writing by the Local Planning Authority. These works shall be carried out as approved within the first planting season following the substantial completion of the phase and retained thereafter in accordance with the approved details. If within a period of five years from the date of planting of any tree or shrub shown on the approved landscaping plan, that tree or shrub, or any tree or shrub planted in replacement for it, is removed, uprooted or destroyed or dies, or becomes seriously damaged or defective, another tree or shrub of the same species and size as that originally planted shall be planted in the immediate vicinity, unless the Local Planning Authority gives its written consent to any variation.  
Reason: To ensure a form of development that maintains, and contributes positively to, the character and appearance of the area.
- 5 Prior to the occupation of any dwelling in each phase a 30-year maintenance plan for the landscaping and biodiversity net gain within the relevant phase shall be submitted to and approved in writing by the Local Planning Authority. The approved 30-year maintenance Plan shall be complied within in full.  
Reason: To ensure a form of development that maintains, and contributes positively to, the character and appearance of the area as well as biodiversity.
- 6 Prior to the commencement of development in each phase an Arboricultural Method Statement including a Tree Protection Plan in accordance with the principles of BS5837:2012: Trees in relation to design, demolition and construction, or such version as supersedes it, shall be submitted to and be agreed by the Local Planning Authority. The approved Method Statement and Tree Protection Plan shall be complied with in full.  
Reason: In the interests of protecting retained trees on site.
- 7 A strategy for refuse and recycling collection for the residential properties in each phase shall be submitted to and approved in writing by the Local Planning Authority prior to the first occupation of any dwelling in that phase. The residential phases of the development shall be carried out in accordance with the approved plans and strategy unless otherwise agreed in writing with the Local Planning Authority.  
Reason: to ensure that the development is provided with adequate facilities that allow it to be serviced in a manner which would not adversely affect the free flow of traffic and highway safety and to ensure the sustainability of the development.
- 8 No dwelling in each phase shall be occupied until vehicle parking space has been provided for that phase in accordance with details that have first been submitted to and approved in writing by the Local Planning Authority, including details of active and passive charging facilities for electric cars (fast charge and rapid charge points). The spaces approved shall be retained for parking in association with the development.  
Reason: to ensure that the development is provided with adequate parking facilities in order to reduce the likelihood of roadside parking which would be detrimental to the free flow of traffic and to highway safety.
- 13 Prior to the occupation of any dwelling in each phase details of biodiversity enhancements for the relevant phase shall be submitted to and approved in writing by the Local Planning Authority. The enhancements shall thereafter be implemented and maintained as approved.  
Reason: in the interests of protecting and enhancing biodiversity.
- 14 No development hereby permitted shall commence until a badger sett survey of the development site and immediately adjacent areas has been undertaken. A brief letter report detailing the results of the survey is to be submitted in writing to the Local Planning Authority. If surveys show that a licence to disturb a badger sett is required, a copy of a valid licence is to be submitted to the planning authority prior to the commencement of the relevant works.  
Reason: in the interests of ecology.
- 15 No works hereby permitted (including demolition works) that could affect the bat roost shall commence until a licence for development works affecting bats has been obtained from the

Statutory Nature Conservation Organisation (Natural England) and a copy has been submitted to the Local Planning Authority. Thereafter mitigation measures approved in the licence shall be maintained in accordance with the approved details.

Reason: to ensure existing bats are protected.

- 16 Prior to occupation of any dwelling a lighting design strategy for biodiversity shall be submitted to and approved in writing by the Local Planning Authority. The strategy shall: i. Identify those areas/features on site that are particularly sensitive for bats, badgers and any other light sensitive wildlife that are likely to cause disturbance in or around their breeding sites and resting places or along important routes used to access key areas of their territory, for example for foraging; and ii. Show how and where external lighting will be installed (through the provision of appropriate lighting contour plans and technical specifications) so that it can be clearly demonstrated that areas to be lit will not disturb or prevent wildlife using their breeding sites, resting places or foraging territory. All external lighting shall be installed in accordance with the specifications and locations set out in the strategy, and shall be maintained thereafter in accordance with the strategy.

Reason: in the interests of the protection of protected wildlife.

- 18 Prior to the commencement of development in each phase an invasive non-native species method statement for the relevant phase shall be submitted to and approved by the Local Planning Authority, detailing the containment, control and removal of invasive non-native species on site, including timescales and future management control regime. These works shall be carried out strictly in accordance with the approved details.

Reason: in the interests of the protection of native species.

- 19 No removal of scrub or trees, or demolition of buildings or structures, shall take place between 1st March and 31 August inclusive, unless a competent ecologist has undertaken a careful, detailed check of the vegetation and buildings for active bird nests immediately before site clearance and provided written confirmation that no nesting birds will be harmed/disturbed and/or that there are appropriate measures in place to protect nesting birds on site. Where applicable details of these measures shall be submitted to and approved by the Local Planning Authority prior to works commencing.

Reason: for the protection of nesting birds

- 20 In the event that unexpected contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must then be undertaken, and where remediation is necessary a remediation scheme must be prepared, which is the subject of the approval in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing by the Local Planning Authority.

Reason: In the interests of mitigation any unexpected contamination.

- 21 Prior to the occupation of any dwelling in each phase a detailed written scheme for protecting the residents of the dwellings from road traffic noise shall be submitted to and approved in writing by the Local Planning Authority. All measures which form part of the scheme approved by the Authority shall be carried out prior to the first occupation of the development and shall thereafter be retained.

Reason: in the interest of the amenity of future occupiers.

- 22 Notwithstanding the details shown on the approved drawings, prior to the first occupation of any dwelling in each phase details of boundary treatment including walls and fences for the residential properties in each phase shall be submitted to and approved in writing by the Local Planning Authority. The boundary treatment shall be carried out in accordance with the approved details prior to occupation.

Reason: in order to ensure a satisfactory external appearance and to protect the amenity of adjoining and future occupiers.

- 24 No development hereby permitted shall commence until a badger mitigation strategy has been submitted to and approved by the Local Planning Authority to ensure that any foraging badgers on site are not adversely affected by the development. This should provide - but not be limited to - the following: During demolition and construction: i. covering trenches over-night; ii. ensuring no works at night; iii restricted lighting; iv. protective fences and barriers. Following completion: v. wildlife friendly lighting; vi. traffic calming measures vii. appropriate speed restrictions. The badger mitigation strategy shall be implemented as approved.

Reason: To protect ecology present on the site.

- 25 Prior to the implementation of the relevant works within a phase details of the surface water drainage scheme for that phase shall be submitted to and approved in writing by the Local Planning Authority. Details shall include: i. Full details of all components of the proposed surface water drainage system including dimensions, locations, gradients, invert levels, cover levels and relevant construction details. ii. Supporting calculations confirming compliance with the Non-statutory Technical Standards for Sustainable Drainage Systems, proposed discharge rates and attenuation volumes to be provided. The supporting calculations should be based on infiltration testing undertaken in accordance with BRE365. iii. Details of the maintenance arrangements relating to the proposed surface water drainage system, confirming who will be responsible for its maintenance and the maintenance regime to be implemented. The surface water drainage system shall be implemented and maintained in accordance with the approved details thereafter.

Reason: in the interests of surface water drainage.

- 26 The development shall be completed and maintained in accordance with the approved plans and details to ensure the relevant units are designed to meet M4(2) and M4(3) of Approved Document Part M of Building Regulations 2010 (as amended).

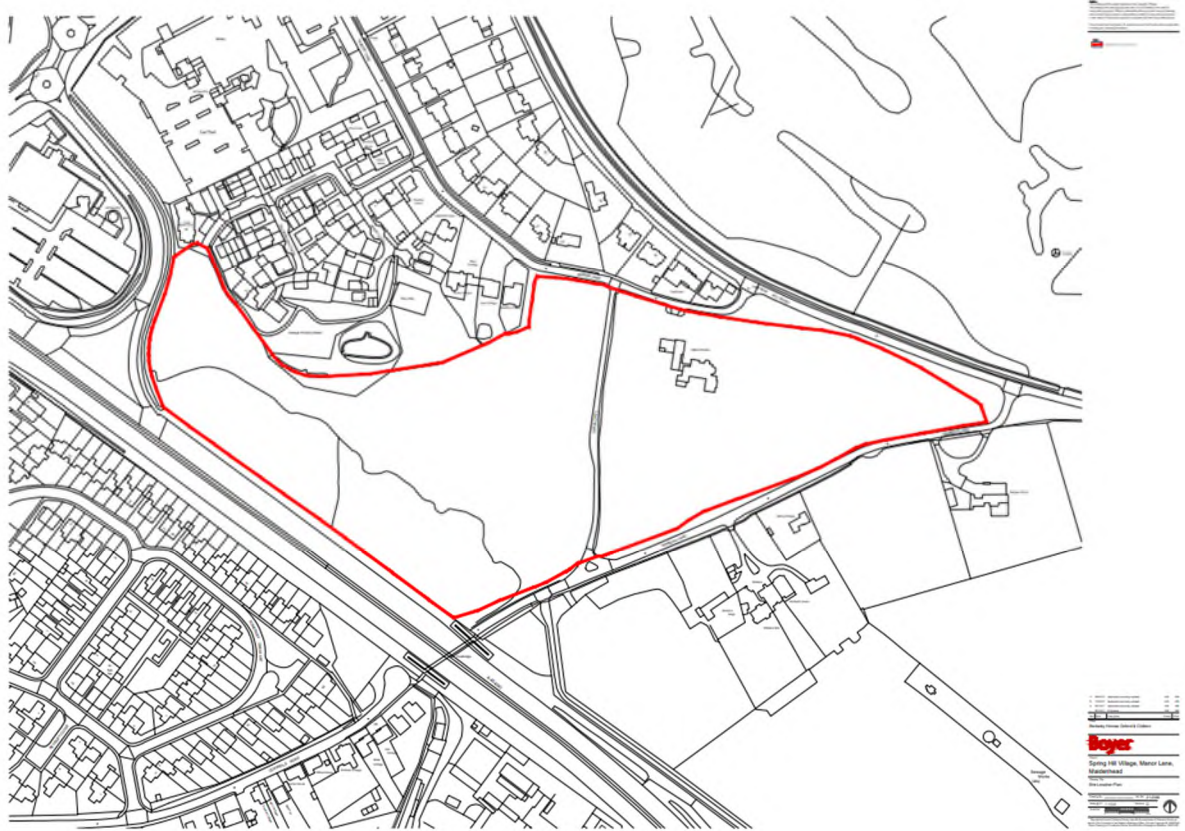
Reason: In order to maximise the practical provision of accessible and adaptable housing, in accordance with Local Plan Policy H02.

- 27 Prior to the first occupation of any dwelling in each phase, elevations and drawings as necessary showing proposed PV panels and Air Source Heat Pumps shall be submitted and approved in writing by the Local Planning Authority. The development shall be carried out and maintained in accordance with these approved details.

Reason to ensure the final appearance of the proposed development and to comply with BLP policy QP3.

22/01717/FULL

APPENDIX A – Site location plan



APPENDIX B – Proposed site plan



### APPENDIX C – Proposed Phasing Plan



### APPENDIX D - Proposed House Types

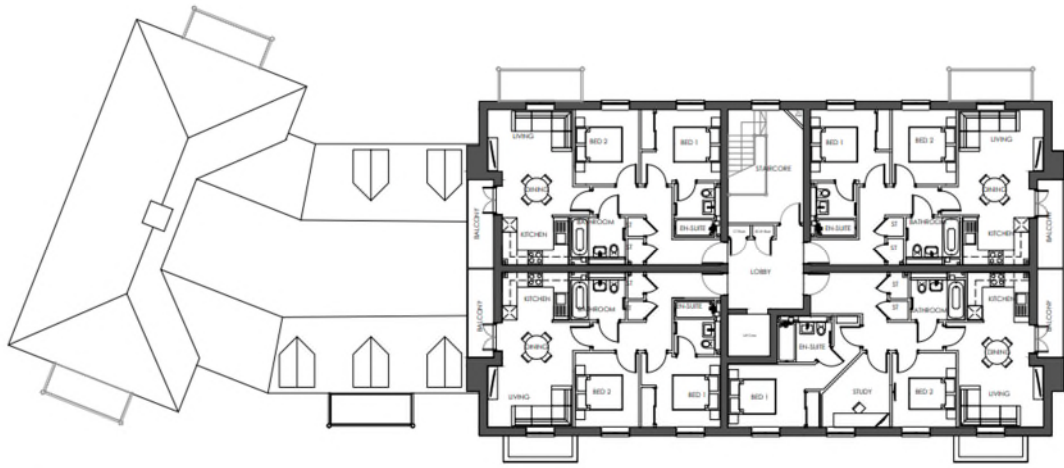
- Key:
- 1 Bed
  - 2 Bed
  - 3 Bed
  - 4 Bed
  - 5 Bed



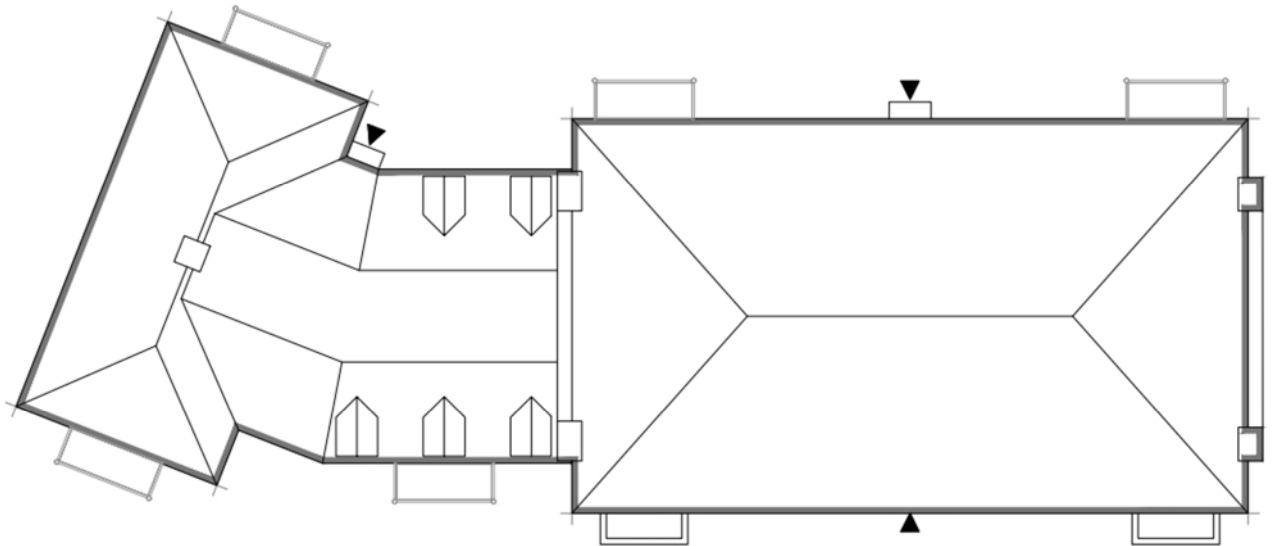
### APPENDIX E – Proposed plans and elevations







Second Floor Plan



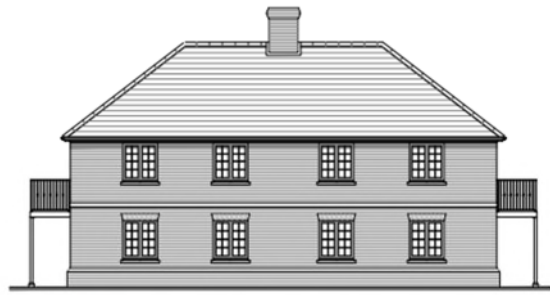
Roof Plan



Front Elevation



Site Elevation



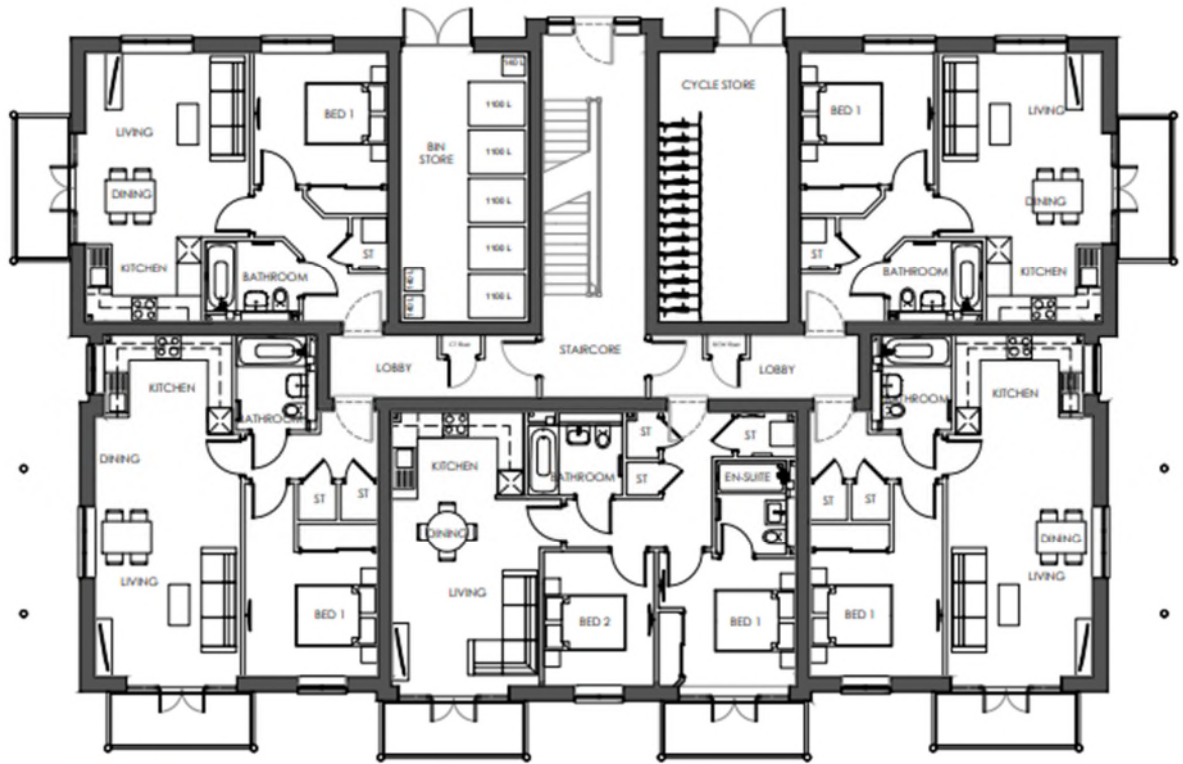
Side Elevation



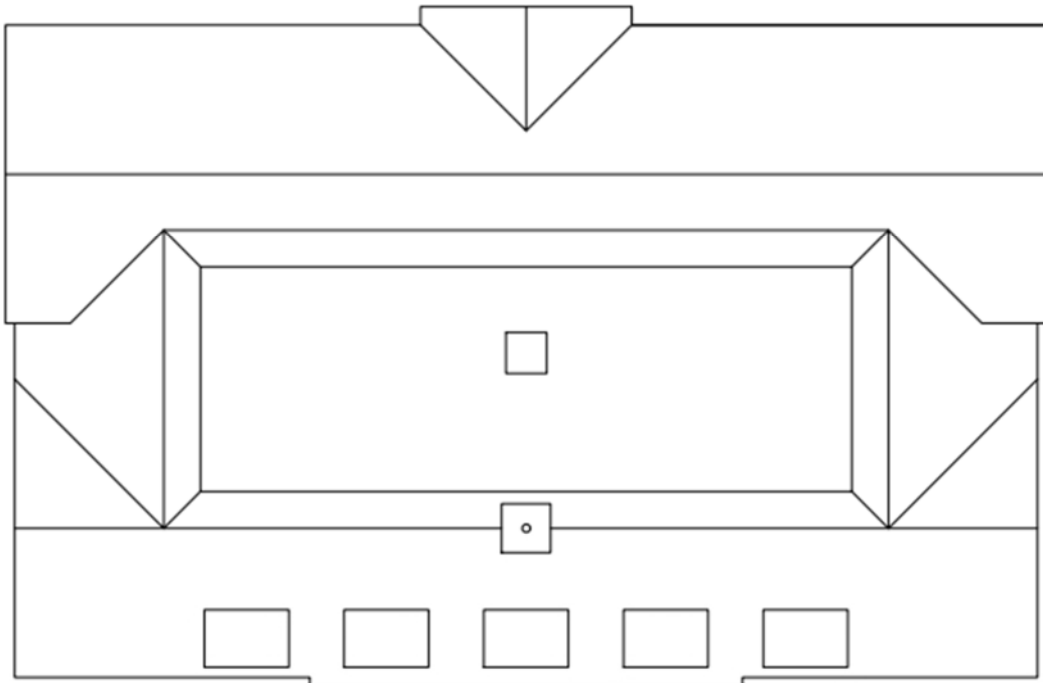
Rear Elevation

Do not scale from this drawing. All contractors must still be able and be responsible for taking and checking dimensions.

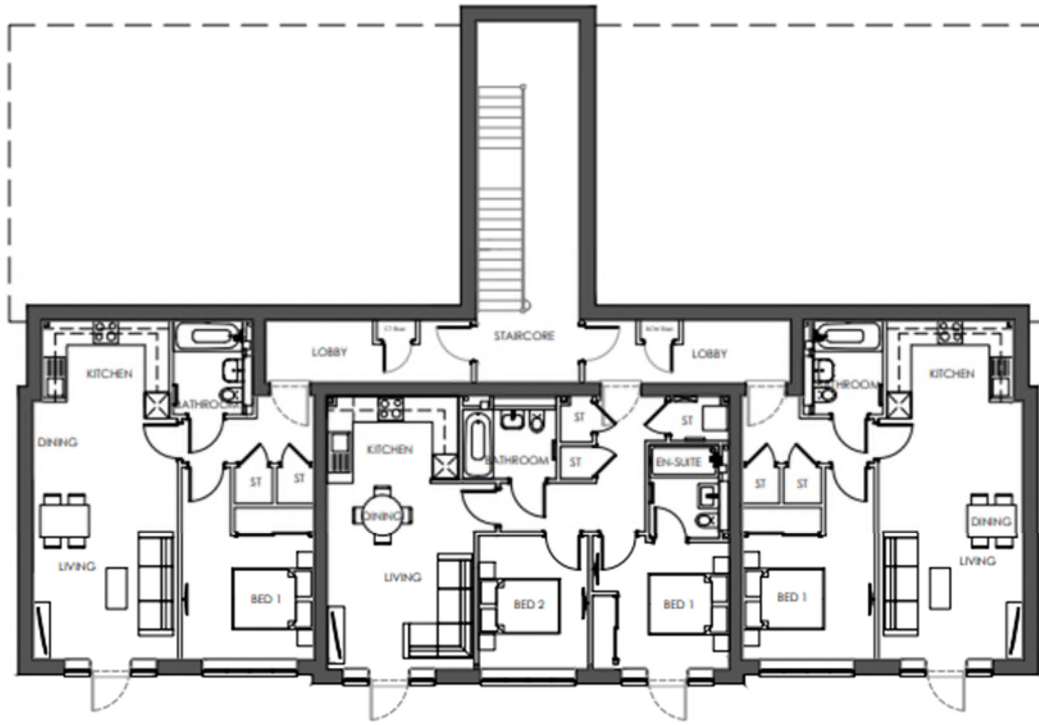




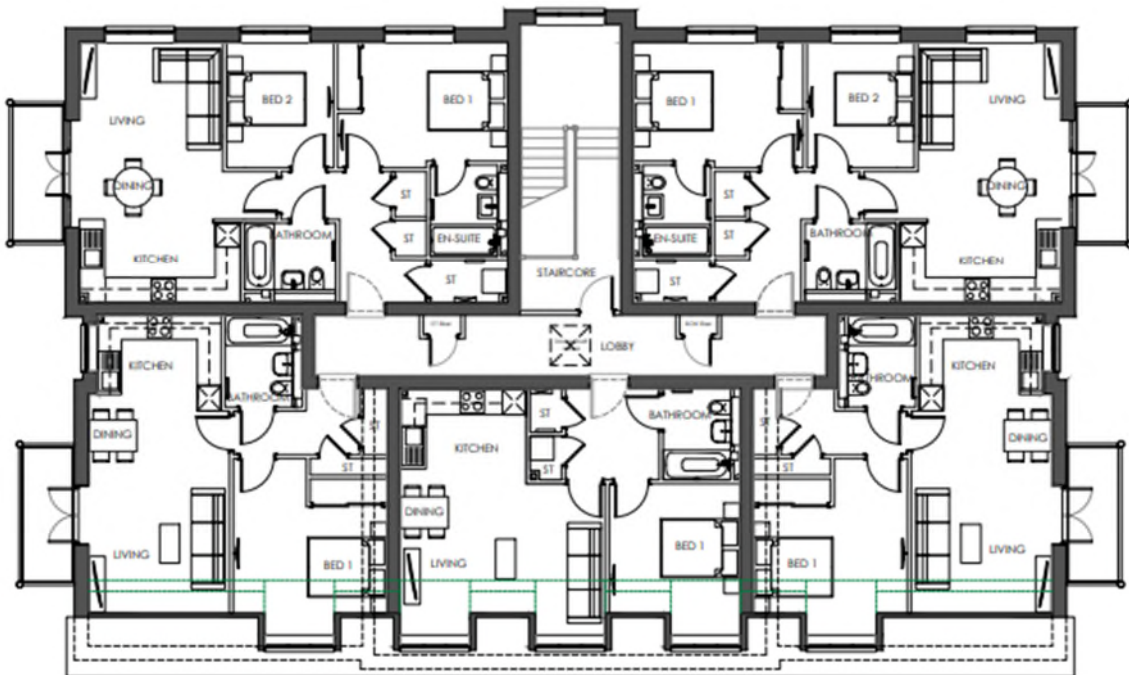
Upper Ground Floor Plan



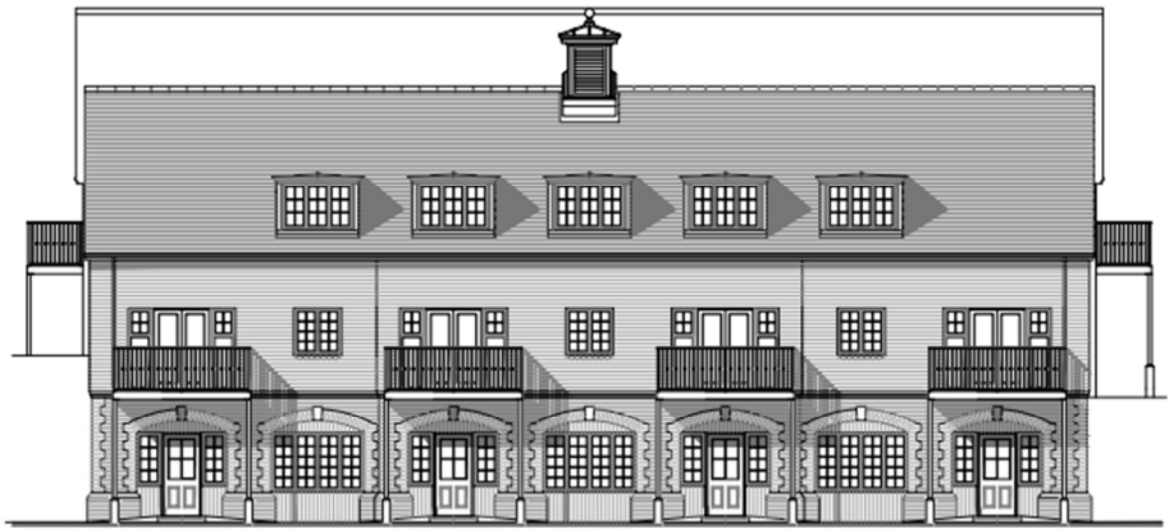
Roof Plan



Lower Ground Floor Plan



Red Floor Plan



Front Elevation



Rear Elevation

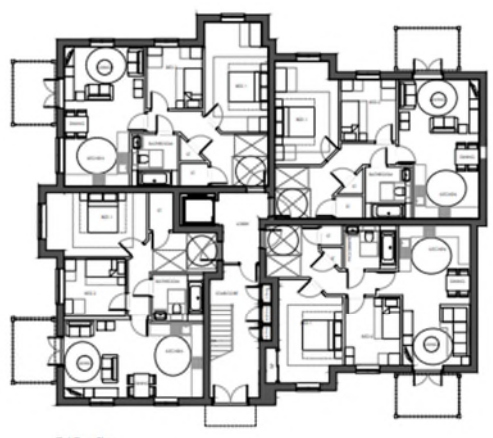


Side Elevation

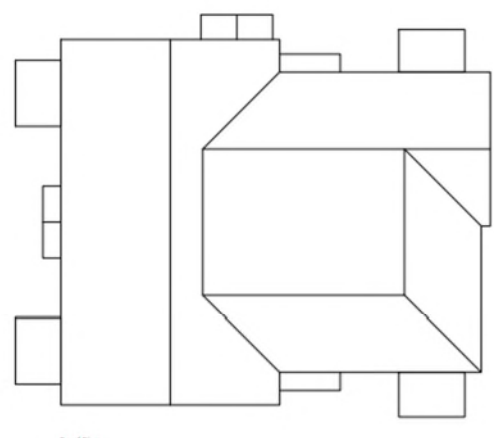


Side Elevation

1. The building is a multi-story structure with a complex, irregular footprint. The building is located in a dense urban area. The building is a multi-story structure with a complex, irregular footprint. The building is located in a dense urban area.



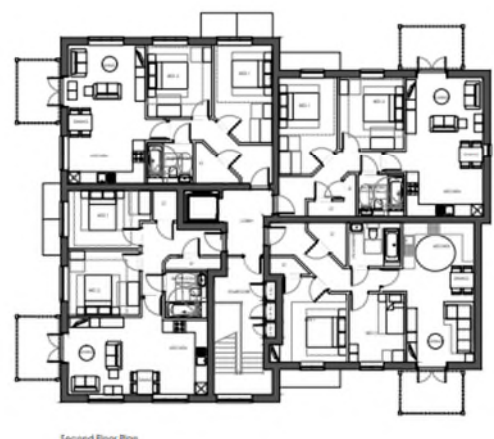
First Floor Plan



Roof Plan



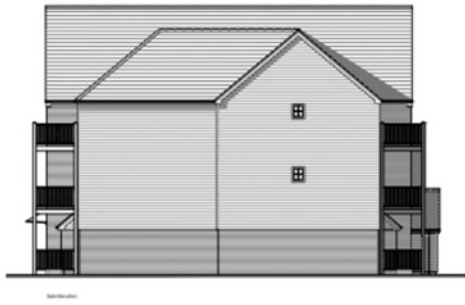
Ground Floor Plan



Second Floor Plan



Front Elevation



Side Elevation

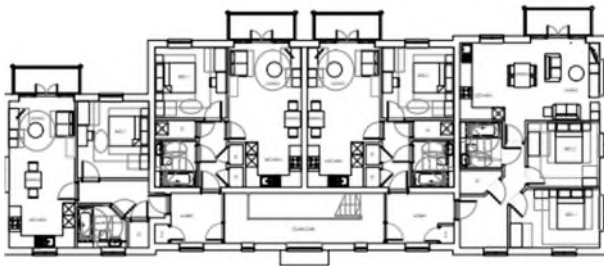


Back Elevation

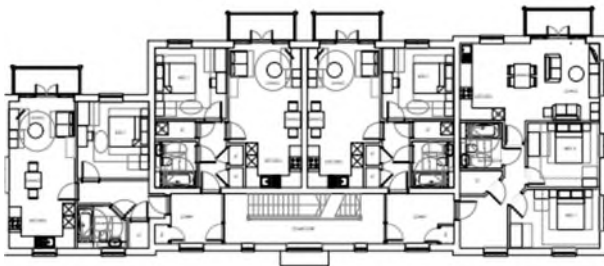


Side Elevation

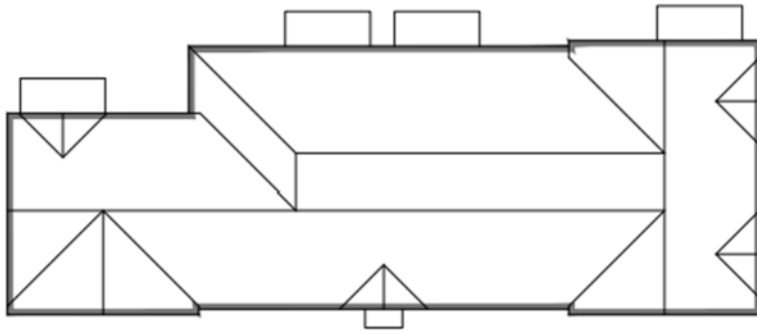
The following symbols are used in the site plan:  
 ■ Building Footprint (shaded gray)  
 ● Parking Space (shaded gray)  
 ○ Open Space (shaded gray)  
 ■ Accessory Building (shaded gray)  
 ■ Existing Structure (shaded gray)  
 ■ Proposed Structure (shaded gray)  
 ■ Existing Structure to be Demolished (shaded gray)  
 ■ Proposed Structure to be Demolished (shaded gray)



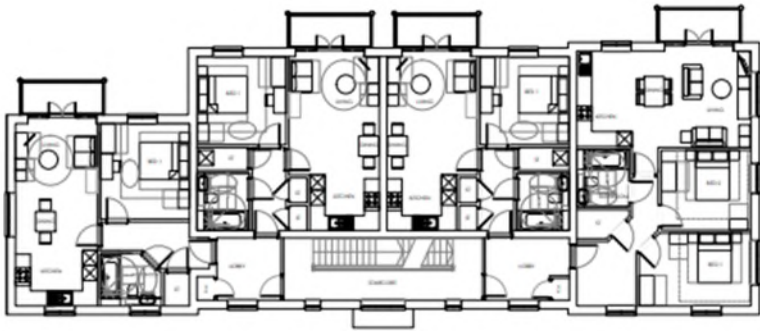
First Floor Plan



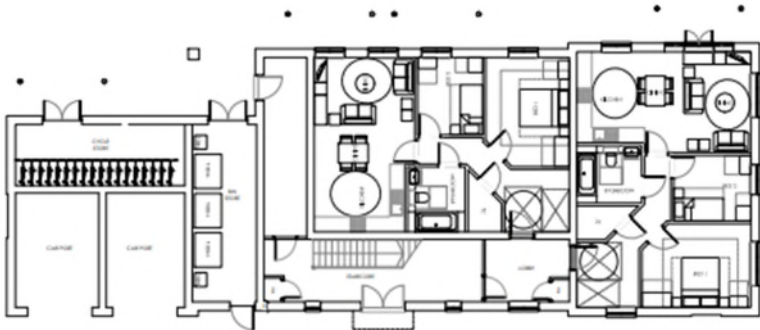
Second Floor Plan



Roof Plan



First floor Plan



Ground floor Plan





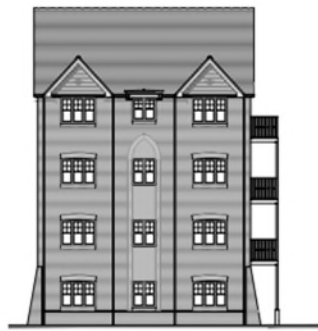
Front Elevation



Rear Elevation



Side Elevation



Side Elevation

**Notes**  
 This drawing and the marks depicted are the copyright of Bayer.  
 This drawing is for planning purposes only. It is not intended to be used for construction purposes. Whilst all reasonable efforts are made to ensure drawings are accurate, Bayer accepts no responsibility or liability for any reliance placed on, or use made of, this plan by anyone for purposes other than those stated above.  
 Do not scale from this drawing. All contractors must visit the site and be responsible for taking and checking dimensions.



HT4.1 - Edwardian Infill - Front Elevation  
 Plot(s) 1



Side Elevation



Rear Elevation



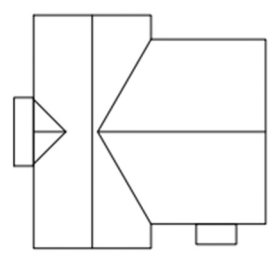
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan

**Notes**

The drawings and the notes depend on the approval of Began.

The drawings are for planning purposes only. It is not intended as the final construction documents. All of the dimensions shown are used to indicate the location and general appearance. Began does not accept any responsibility or liability for any errors or omissions in or on behalf of the plan. It is advised to consult other than these drawings.

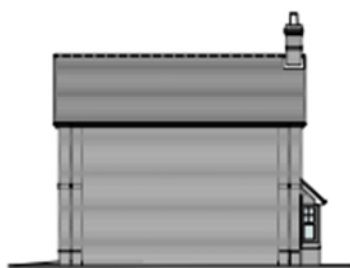
Do not make any changes, modifications or alterations to the site and the proposed development without the approval of Began.



HT3.2.X - Edwardian Infill - Front Elevation  
 Date: 2.8.20



Side Elevation



Rear Elevation



Side Elevation



Ground Floor Plan



First Floor Plan



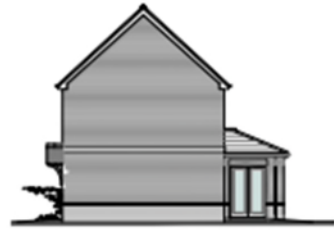
Roof Plan



Notes:  
 1. The building is to be constructed on the lot shown in red.  
 2. The building is to be constructed in accordance with the specifications and details shown on the drawings.  
 3. The building is to be constructed in accordance with the applicable building codes and regulations.  
 4. The building is to be constructed in accordance with the applicable zoning regulations.



HT3.2.3 - Edwardian Infill - Front Elevation  
 H404.3



Side Elevation



Rear Elevation



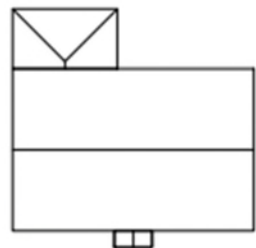
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan



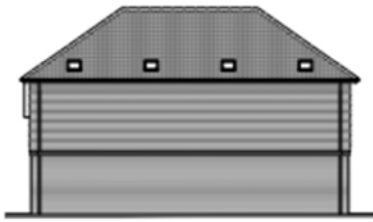
Notes:  
 1. The building is to be constructed on the lot shown in red.  
 2. The building is to be constructed in accordance with the specifications and details shown on the drawings.  
 3. The building is to be constructed in accordance with the applicable building codes and regulations.  
 4. The building is to be constructed in accordance with the applicable zoning regulations.



HTF1 - Edwardian Infill - Front Elevation  
 Photo 4



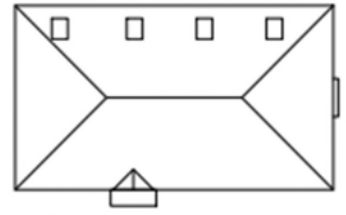
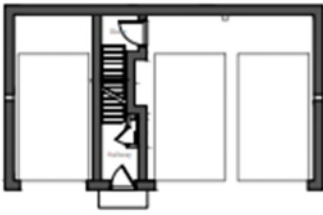
Side Elevation



Rear Elevation



Side Elevation

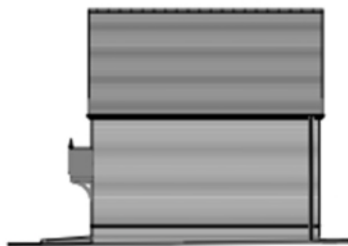


Notes:  
 1. All dimensions are in feet and inches.  
 2. All elevations are shown in perspective.  
 3. All materials are to be as shown in the elevations.  
 4. All windows and doors are to be as shown in the elevations.  
 5. All fixtures and fittings are to be as shown in the elevations.  
 6. All finishes are to be as shown in the elevations.  
 7. All work is to be in accordance with the current building codes.  
 8. All work is to be in accordance with the current zoning regulations.  
 9. All work is to be in accordance with the current fire codes.  
 10. All work is to be in accordance with the current health and safety regulations.





HT3.1.1 - Edwardian Infill - Front Elevation  
Page 4



Side Elevation



Rear Elevation



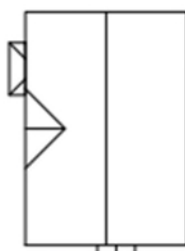
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan





HT4.3 - Edvardan Inb - Front Elevation  
Page 7



Side Elevation



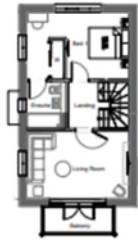
Rear Elevation



Side Elevation



Ground Floor Plan



First Floor Plan



Second Floor Plan



Roof Plan



HT4.3 - Edvardan Inb - Site Plan



HT4.7 - Victorian Expansion - Front Elevation  
Project



Side Elevation



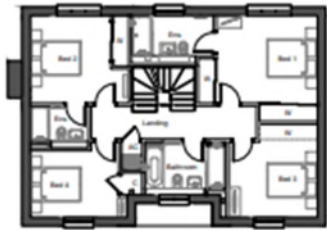
Rear Elevation



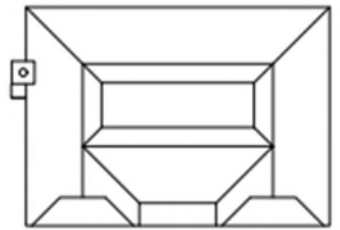
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan

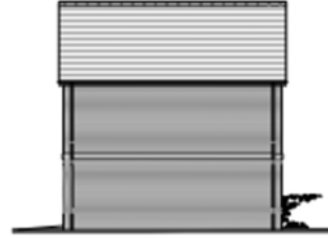


Site plan showing the layout of the residential development, including the location of the house shown in the elevations and plans above.





HT4.1 - Victorian Expansion - Front Elevation  
Project 19



Side Elevation



Rear Elevation



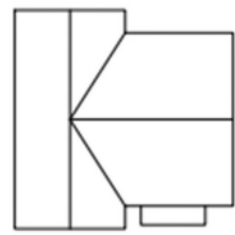
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan





HT3.2.X - Edwardian Infill - Front Elevation  
Project No. 11/12/2014



Side Elevation



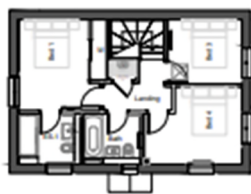
Rear Elevation



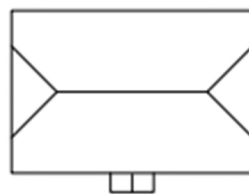
Side Elevation



Ground Floor Plan



First Floor Plan

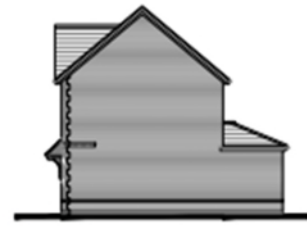


Roof Plan





HT3.2.3 - Victorian Expansion - Front Elevation  
Page 18



Side Elevation



Rear Elevation



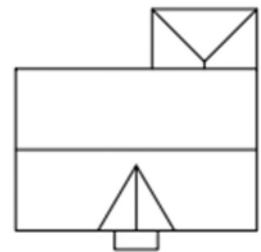
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan





HT4.1 - Victorian Expansion - Front Elevation  
Prop 14



Side Elevation



Rear Elevation



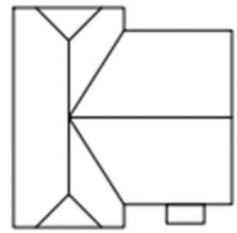
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan





HT4.1 - Victorian Expansion - Front Elevation  
Page | 19



Side Elevation



Rear Elevation



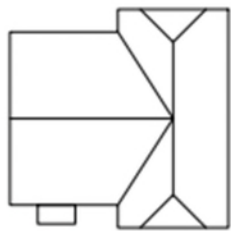
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan

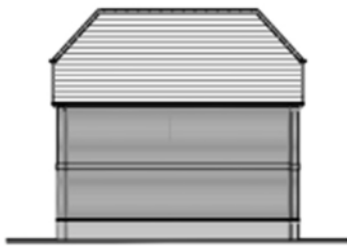




HT3.2.X - Victorian Expansion - Front Elevation  
Page 14



Side Elevation



Rear Elevation



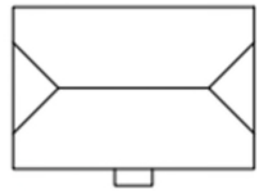
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan



Legend  
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2. Existing House  
3. Existing House  
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94. Existing House  
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96. Existing House  
97. Existing House  
98. Existing House  
99. Existing House  
100. Existing House



HT4.314.3 - Georgian Village - Front Elevation  
Phase 1/1/14



Side Elevation



Rear Elevation



Side Elevation



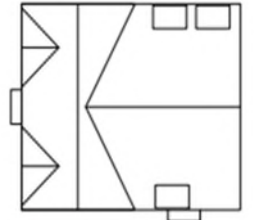
Ground Floor Plan



First Floor Plan



Second Floor Plan

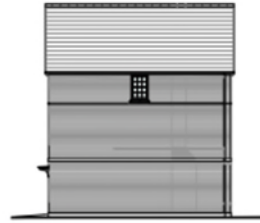


Roof Plan





HT3.34.3 - Georgian Village - Front Elevation  
Photo: 10/20/21



Side Elevation



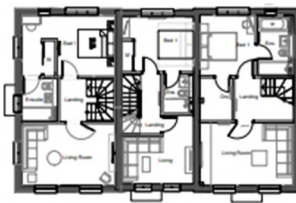
Rear Elevation



Side Elevation



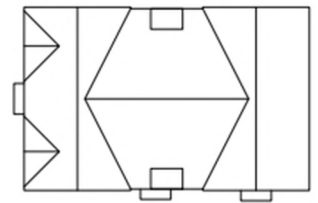
Ground Floor Plan



First Floor Plan



Second Floor Plan



Roof Plan



HT3.34.3 - Georgian Village - Site Plan  
Photo: 10/20/21

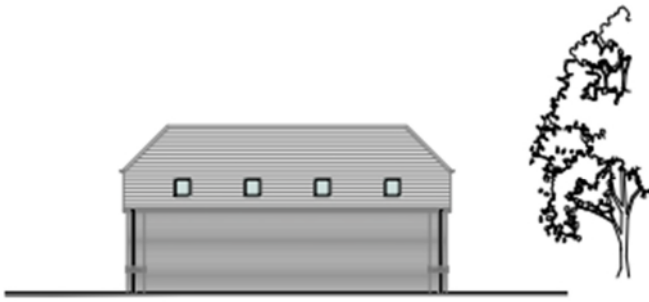




HTF1 - Georgian Village - Front Elevation  
 PHOTO 22



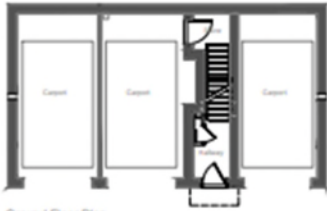
Side Elevation



Rear Elevation



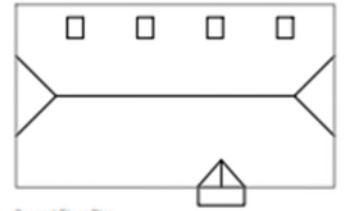
Side Elevation



Ground Floor Plan

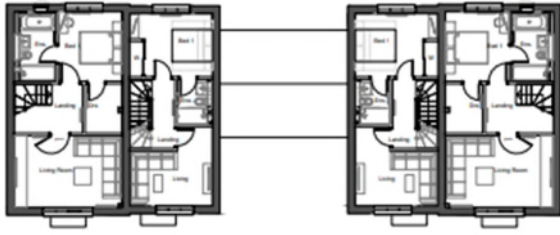


First Floor Plan

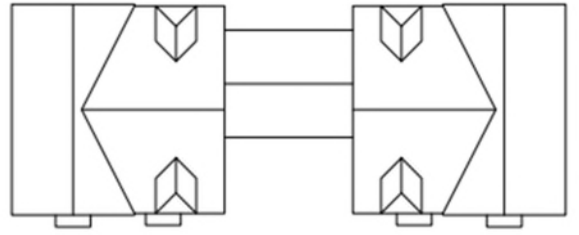


Second Floor Plan

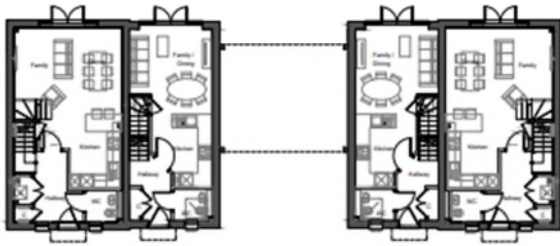




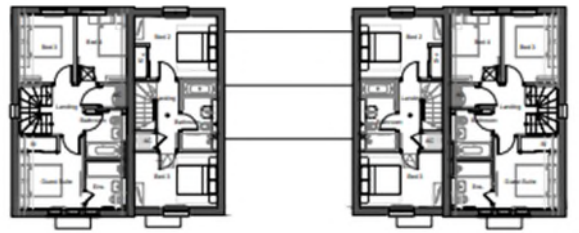
First Floor Plan



Roof Plan



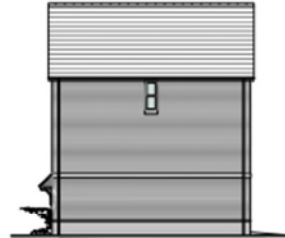
Ground Floor Plan



Second Floor Plan



HT4.3/3.3 - Victorian Expansion - Front Elevation  
 1/16/27



Side Elevation



Side Elevation



Rear Elevation



Side Elevation



Side Elevation



HT3.2.X - Georgian Village - Front Elevation  
P140.28.4.1



Side Elevation



Rear Elevation



Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan





HT3.0 - Georgian Village - Front Elevation  
Page 09/10 & 11/12



Side Elevation



Rear Elevation



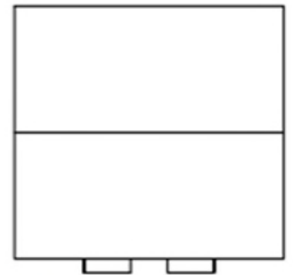
Side Elevation



Second Floor Plan



First Floor Plan



Ground Plan



Site Plan



HTS.3 - Georgian Village - Front Elevation  
Page 41



Side Elevation



Rear Elevation



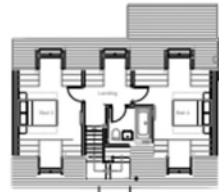
Side Elevation



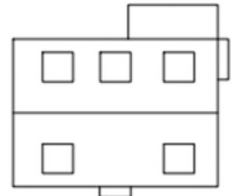
Ground Floor Plan



First Floor Plan



Second Floor Plan



Roof Plan



HTS.3 - Georgian Village - Site Plan  
Page 42



HT3.3 - Victorian Expansion - Front Elevation  
Metric 2024



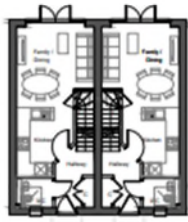
Side Elevation



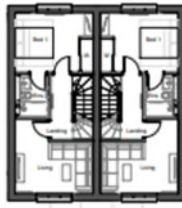
Rear Elevation



Side Elevation



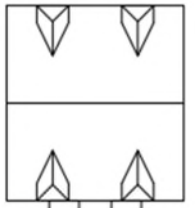
Ground Floor Plan



First Floor Plan



Second Floor Plan



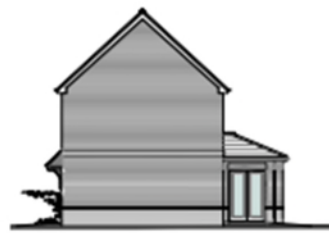
Roof Plan



Site Plan



HT3.2.3 - Victorian Expansion - Front Elevation  
 PHOTO 26



Side Elevation



Rear Elevation



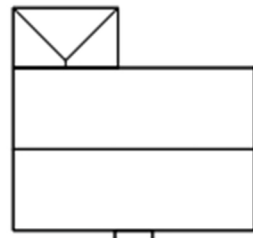
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan



Legend  
 1. Proposed House  
 2. Existing House  
 3. Existing Driveway  
 4. Existing Fence  
 5. Existing Pathway  
 6. Existing Tree  
 7. Existing Garden  
 8. Existing Wall  
 9. Existing Gate  
 10. Existing Boundary



HT3.3 - Edwardian Infill - Front Elevation  
Plan 01/18



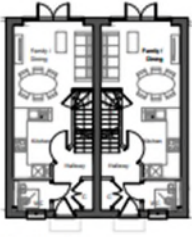
Side Elevation



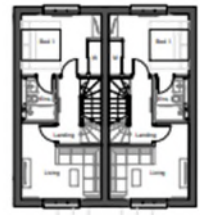
Rear Elevation



Side Elevation



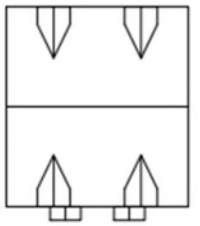
Ground Floor Plan



First Floor Plan



Second Floor Plan



Roof Plan

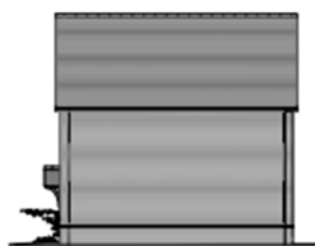


Site plan showing the location of the building within the development.





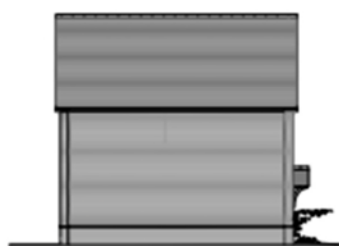
HT3.1.1 - Edwardian Infill - Front Elevation  
Page | 29



Side Elevation



Rear Elevation



Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan



Site Plan



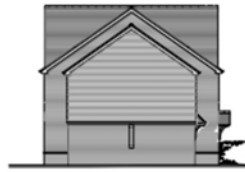
HYP13.2.X3.0 - Edwardan 188 - Front Elevation  
Plan 012



Side Elevation



Rear Elevation



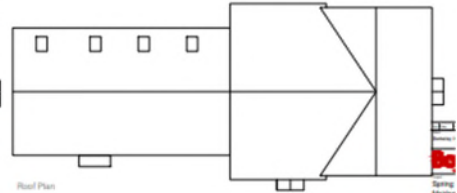
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan



Site Plan



HTS.3 - Victorian Expansion - Front Elevation  
Page 41



Side Elevation



Rear Elevation



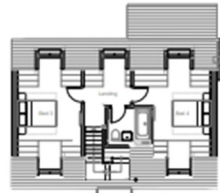
Side Elevation



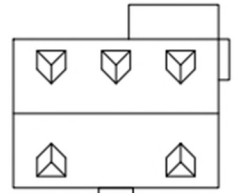
Ground Floor Plan



First Floor Plan



Second Floor Plan



Roof Plan

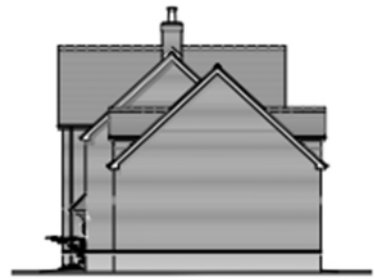


HTS.3 - Victorian Expansion - Site Plan





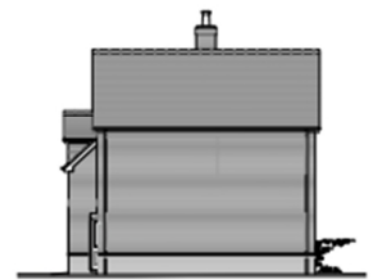
HTS.1 - Victorian Expansion - Front Elevation  
 Project #1887



Side Elevation



Rear Elevation



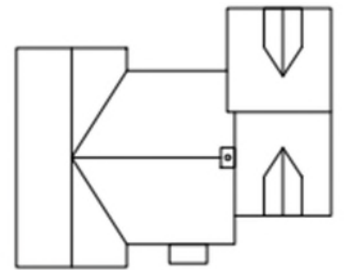
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan



Site Plan



HT4.1 - Victorian Expansion - Front Elevation  
Plan No. 504117



Side Elevation



Rear Elevation



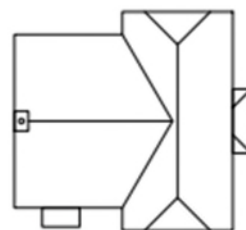
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan

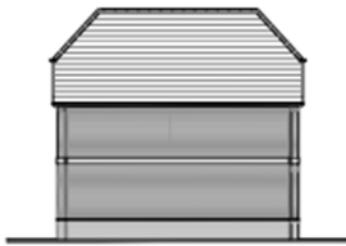




HT3.2.X - Victorian Expansion - Front Elevation  
Page 44



Side Elevation



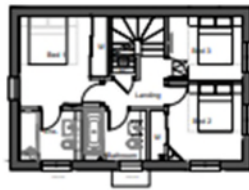
Rear Elevation



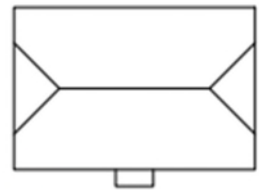
Side Elevation



Ground Floor Plan



First Floor Plan

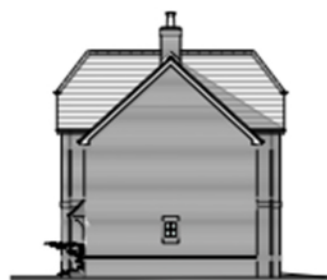


Roof Plan





HT4.1 - Victorian Expansion - Front Elevation  
Proj: 07\_088718



Side Elevation



Rear Elevation



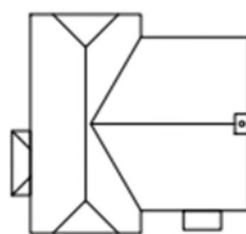
Side Elevation



Ground Floor Plan



First Floor Plan



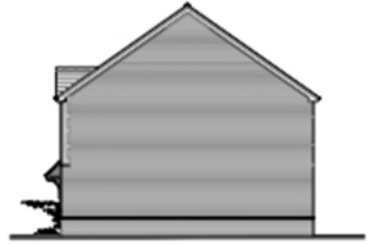
Roof Plan



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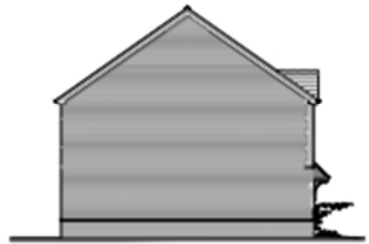
HT3.0 - Edwardian Infill - Front Elevation  
PROP 14/18



Side Elevation



Rear Elevation



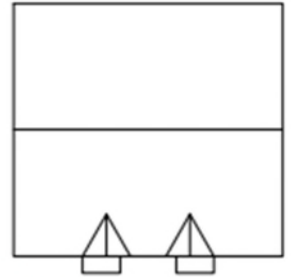
Side Elevation



Ground Floor Plan



First Floor Plan



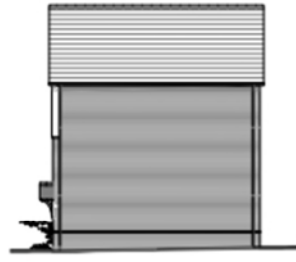
Roof Plan







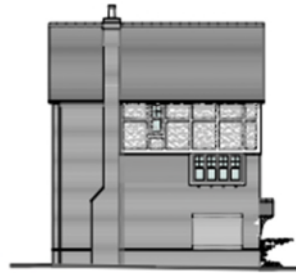
HT4.3 - Edvardian Infill - Front Elevation  
Photo: 01



Side Elevation



Rear Elevation



Side Elevation



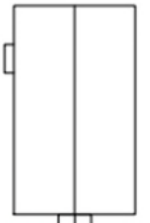
Ground Floor Plan



First Floor Plan



Second Floor Plan



Roof Plan



Site Plan

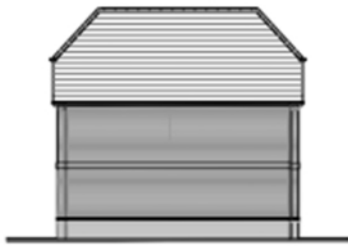




HT3.2.X - Victorian Expansion - Front Elevation  
Page 11



Side Elevation



Rear Elevation



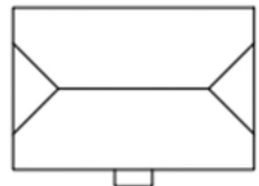
Side Elevation



Ground Floor Plan



First Floor Plan



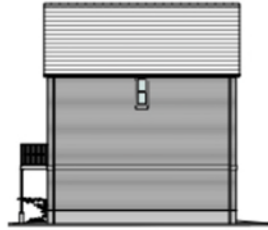
Roof Plan



HT4.3 - Victorian Expansion



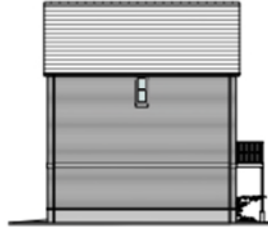
HT4.3 - Victorian Expansion - Front Elevation  
Project 4.3.1 & 4.3.2



Side Elevation



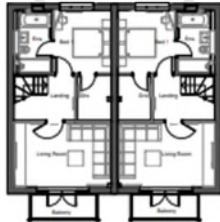
Rear Elevation



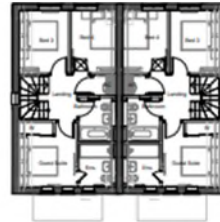
Side Elevation



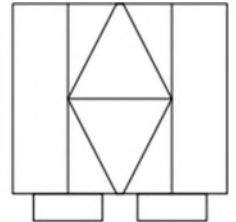
Ground Floor Plan



First Floor Plan



Second Floor Plan



Roof Plan



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HT3.2.X - Victorian Expansion - Front Elevation  
Photo 14 & 15



Side Elevation



Rear Elevation



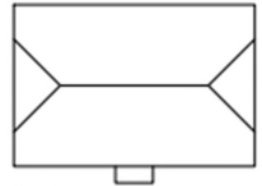
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan





HTS.1 - Victorian Expansion - Front Elevation  
Project 14



Side Elevation



Rear Elevation



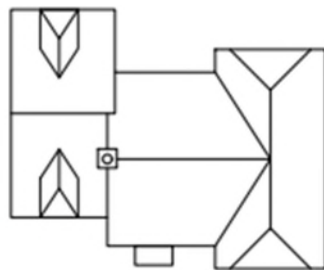
Side Elevation



Ground Floor Plan

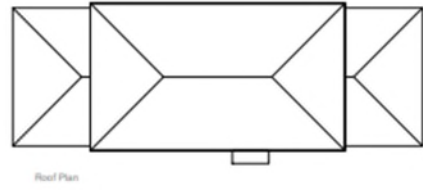
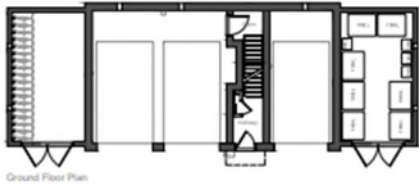
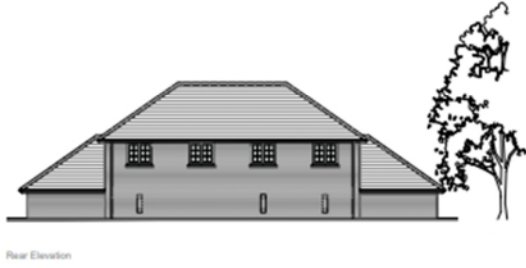


First Floor Plan



Roof Plan







HT4.1 - Georgian Village - Front Elevation  
PAGE 76



Side Elevation



Rear Elevation



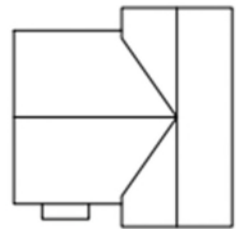
Side Elevation



Ground Floor Plan



First Floor Plan



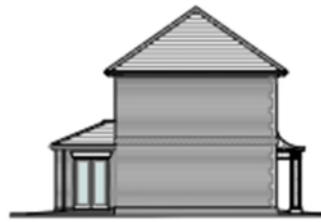
Roof Plan



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HT3.2.3 - Georgian Village - Front Elevation  
PAGE 78



Side Elevation



Rear Elevation



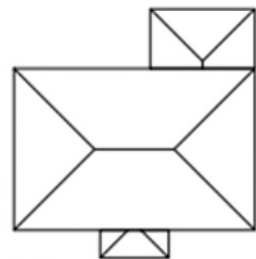
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan







HT4.1 - Georgian Village - Front Elevation  
P402/02



Side Elevation



Rear Elevation



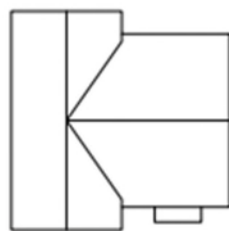
Side Elevation



Ground Floor Plan



First Floor Plan



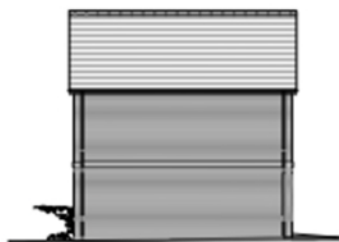
Roof Plan



Site Plan



HT4.1 - Victorian Expansion - Front Elevation  
PROJ 12



Side Elevation



Rear Elevation



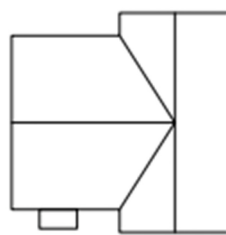
Side Elevation



Ground Floor Plan



First Floor Plan

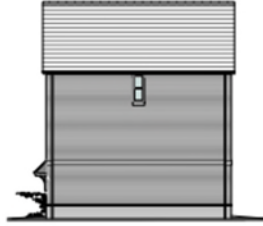


Roof Plan





HT3.34.3 - Victorian Expansion - Front Elevation  
Prop. 8489



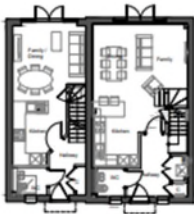
Side Elevation



Rear Elevation



Side Elevation



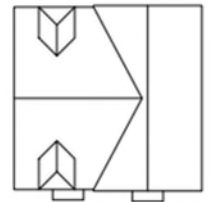
Ground Floor Plan



First Floor Plan



Second Floor Plan



Roof Plan







HT4.3 - Edvardian Inlet - Front Elevation  
Photo: 01/18



Side Elevation



Rear Elevation



Side Elevation



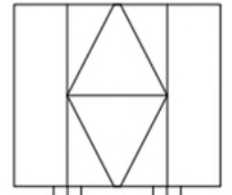
Ground Floor Plan



First Floor Plan



Second Floor Plan



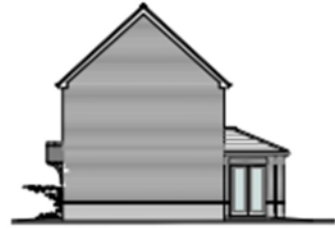
Roof Plan



HT4.3 - Edvardian Inlet - Site Plan  
Photo: 01/18



HT3.2.3 - Edwardian Infill - Front Elevation  
Plan 01/19



Side Elevation



Rear Elevation



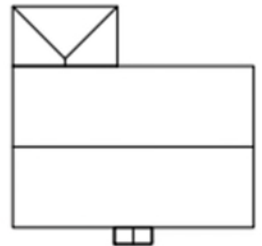
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan



Site Plan



HTS.2 - Edwardian Infill - Front Elevation  
Home 102



Side Elevation



Rear Elevation



Side Elevation



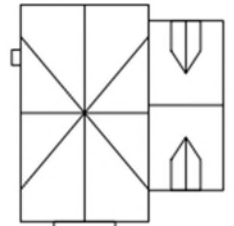
Ground Floor Plan



First Floor Plan



Second Floor Plan



Roof Plan

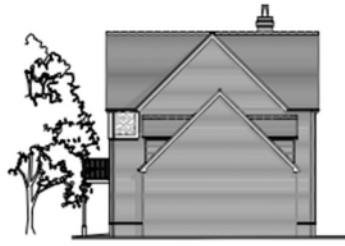


HTS.2 - Edwardian Infill - Home 102





HTS.2 - Edwardian Villa - Front Elevation  
Penny 100



Side Elevation



Rear Elevation



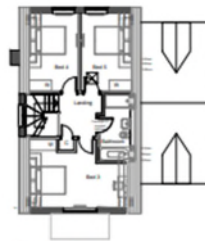
Side Elevation



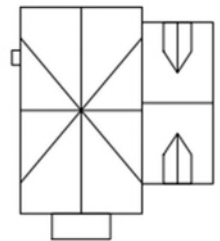
Ground Floor Plan



First Floor Plan



Second Floor Plan



Roof Plan



HTS.2 - Edwardian Villa - Site Plan





HTS.2 - Edwardian Hill - Front Elevation  
Page 10



Side Elevation



Rear Elevation



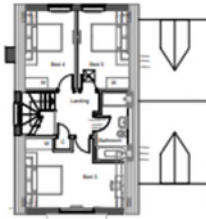
Side Elevation



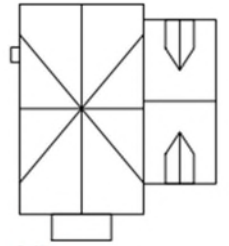
Ground Floor Plan



First Floor Plan



Second Floor Plan



Roof Plan



Site Plan



HTS.2 - Edvardian Hill - Front Elevation  
Photo: 1/14



Side Elevation



Rear Elevation



Side Elevation



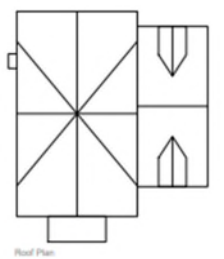
Ground Floor Plan



First Floor Plan



Second Floor Plan



Roof Plan

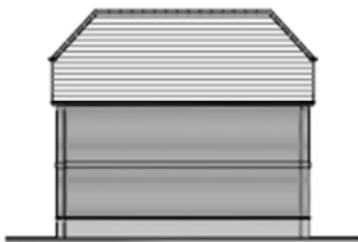




HT3.6 - Victorian Expansion - Front Elevation  
Plan# 107



Side Elevation



Rear Elevation



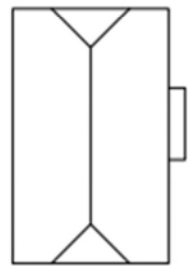
Side Elevation



Ground Floor Plan



First Floor Plan

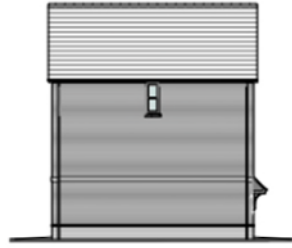


Roof Plan





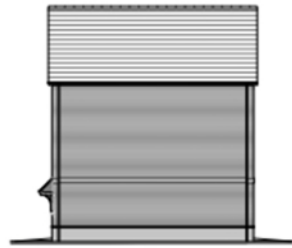
HT4.3 - Victorian Expansion - Front Elevation  
Page 119



Side Elevation



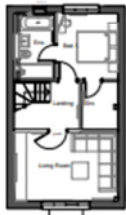
Rear Elevation



Side Elevation



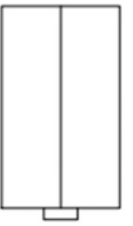
Ground Floor Plan



First Floor Plan



Second Floor Plan



Roof Plan

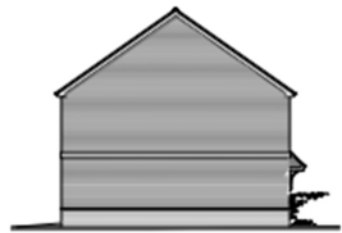


Site plan showing the location of the house within a larger residential development.





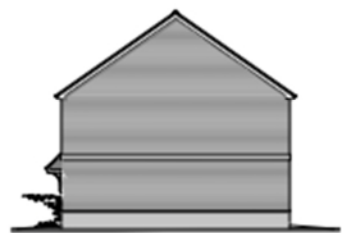
HT3.1.1 - Victorian Expansion - Front Elevation  
Plan# 1111128110111



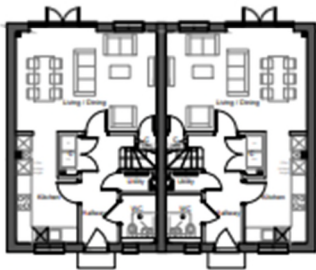
Side Elevation



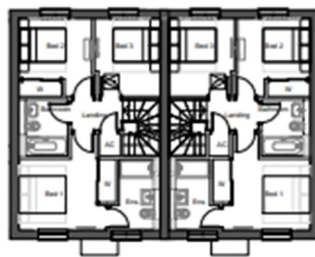
Rear Elevation



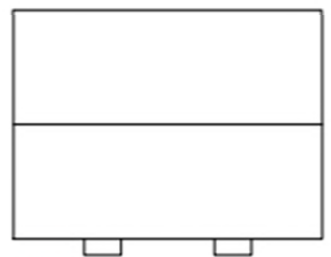
Side Elevation



Ground Floor Plan



First Floor Plan

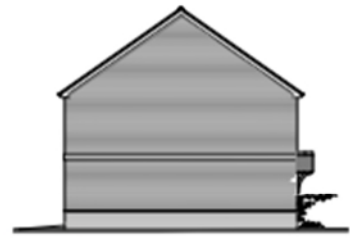


Roof Plan





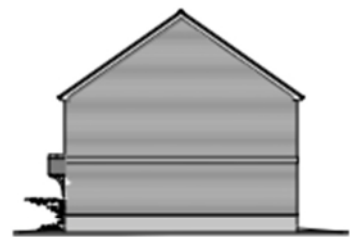
HT3.1.1 - Victorian Expansion - Front Elevation  
Plan: 10/114



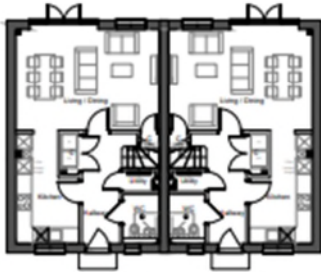
Side Elevation



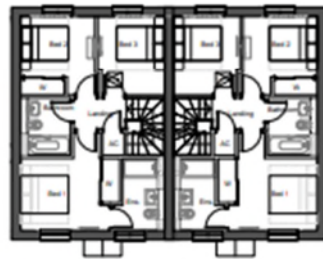
Rear Elevation



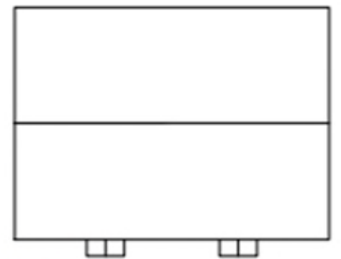
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan





HT5.5 - Edwardian Infill - Front Elevation  
Page 118



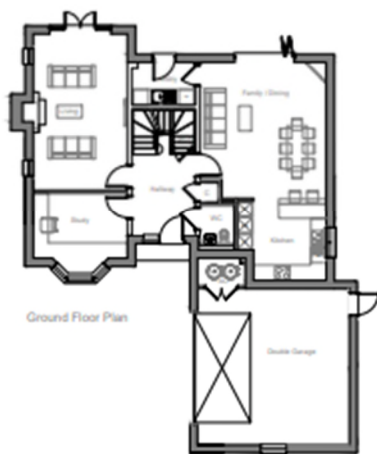
Side Elevation



Rear Elevation



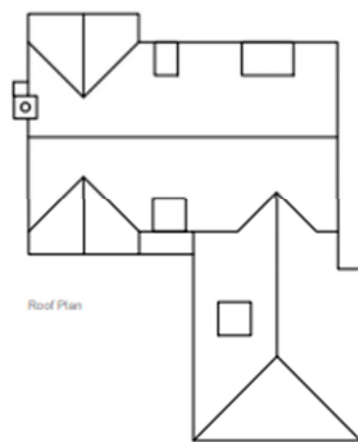
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan





HTS.3 - Edwardian Hill - Front Elevation  
Page 148



Side Elevation



Rear Elevation



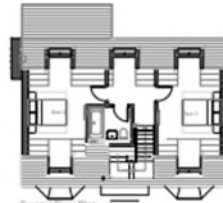
Side Elevation



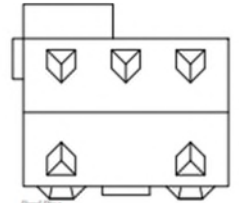
Ground Floor Plan



First Floor Plan



Second Floor Plan



Roof Plan



HTS.3 - Edwardian Hill - Site Plan  
Page 149



HTS 3 - Edvardian Hill - Front Elevation  
HTS 3 - Edvardian Hill - Side Elevation  
HTS 3 - Edvardian Hill - Rear Elevation  
HTS 3 - Edvardian Hill - Ground Floor Plan  
HTS 3 - Edvardian Hill - First Floor Plan  
HTS 3 - Edvardian Hill - Second Floor Plan  
HTS 3 - Edvardian Hill - Roof Plan



HTS 3 - Edvardian Hill - Front Elevation  
HTS 3 - Edvardian Hill



Side Elevation



Rear Elevation



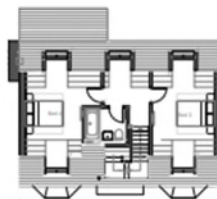
Side Elevation



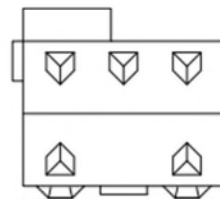
Ground Floor Plan



First Floor Plan



Second Floor Plan



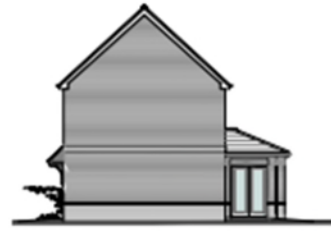
Roof Plan



Scale: 1:1000  
North Arrow



HT3.2.3 - Victorian Expansion - Front Elevation  
Page 122



Side Elevation



Rear Elevation



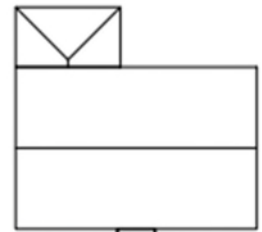
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan



Site Plan



HT5.5 - Edwardian Infill - Front Elevation  
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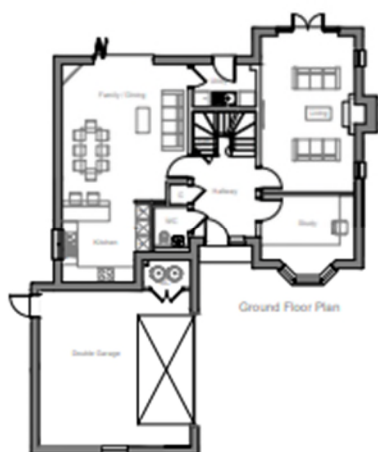
Side Elevation



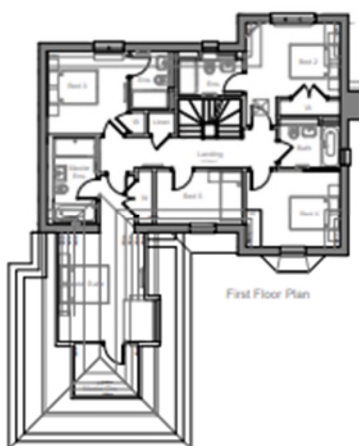
Rear Elevation



Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan



Site Plan



HT4.4 - Victorian Expansion - Front Elevation  
Page 124



Side Elevation



Rear Elevation



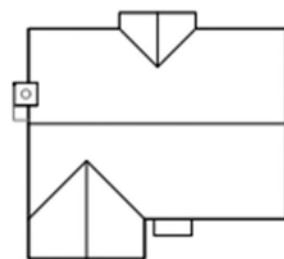
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan





HT3.3 - Victorian Expansion - Front Elevation  
Photo: [unreadable]



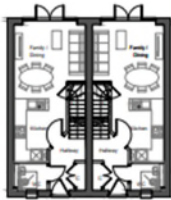
Side Elevation



Rear Elevation



Side Elevation



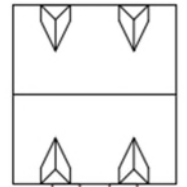
Ground Floor Plan



First Floor Plan



Second Floor Plan



Roof Plan



HT3.3



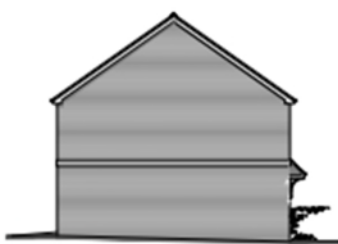
HT3.1.1/5.2.X - Victorian Expansion - Front Elevation  
Page 127/128



Side Elevation



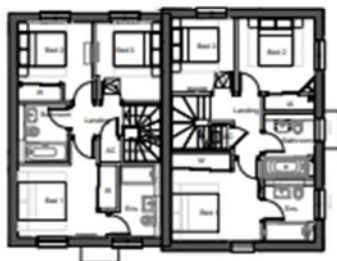
Rear Elevation



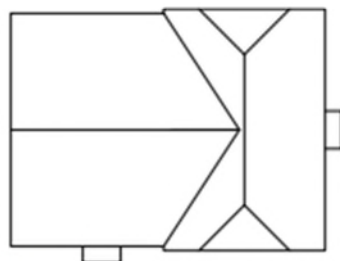
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan





HT4.7 - Victorian Expansion - Front Elevation  
Page | 126



Side Elevation



Rear Elevation



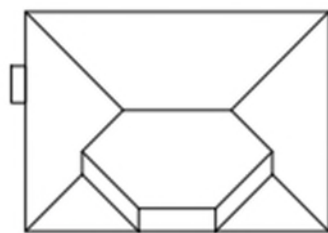
Side Elevation



Ground Floor Plan



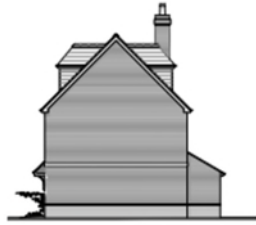
First Floor Plan



Roof Plan



HTS.3 - Victorian Expansion - Front Elevation  
Project 128



Side Elevation



Rear Elevation



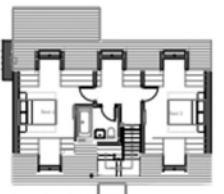
Side Elevation



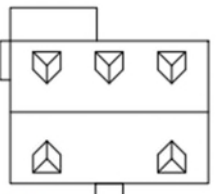
Ground Floor Plan



First Floor Plan



Second Floor Plan



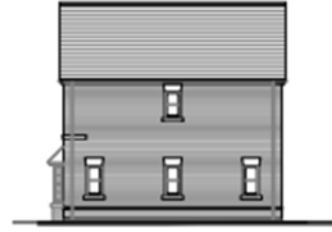
Roof Plan







HT4.1 - Edwardian Infill - Front Elevation  
Page | 121



Side Elevation



Rear Elevation



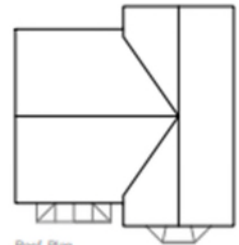
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan





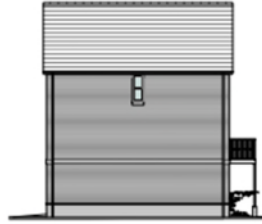
HT4.3 - Victorian Expansion - Front Elevation  
HT02-140729



Side Elevation



Rear Elevation



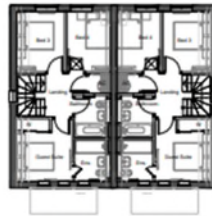
Side Elevation



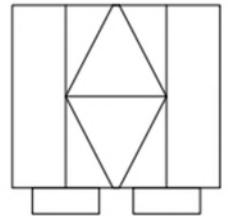
Ground Floor Plan



First Floor Plan



Second Floor Plan



Roof Plan



Scale: 1 inch = 10 feet



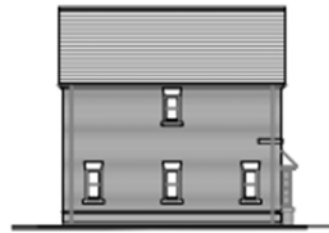
HT4.1 - Edwardian Infill - Front Elevation  
Page | 134



Side Elevation



Rear Elevation



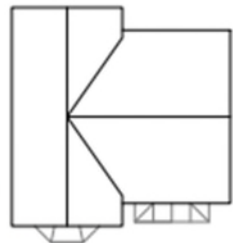
Side Elevation



Ground Floor Plan

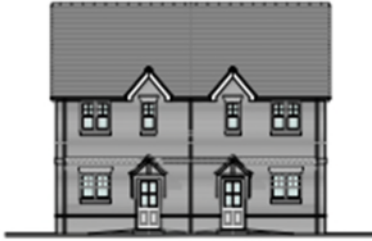


First Floor Plan

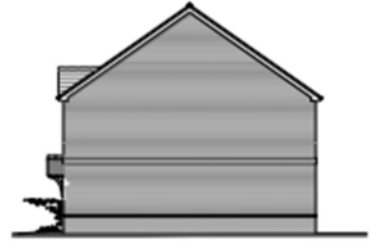


Roof Plan





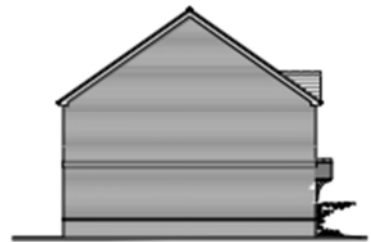
HT3.0 - Edwardian Infill - Front Elevation  
Plan 130/136



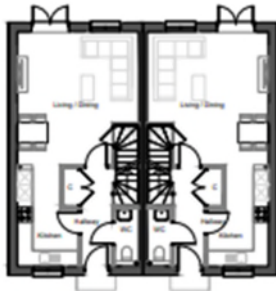
Side Elevation



Rear Elevation



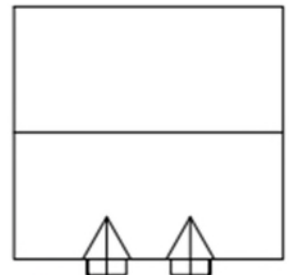
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan

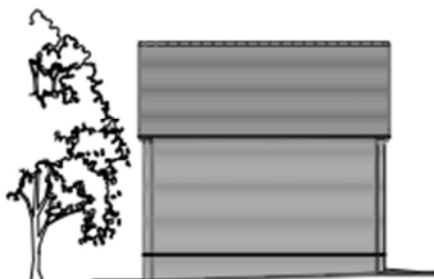




HT3.6 - Edwardian Infill - Front Elevation  
Page 107



Side Elevation



Rear Elevation



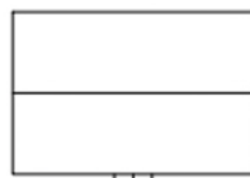
Side Elevation



Ground Floor Plan



First Floor Plan

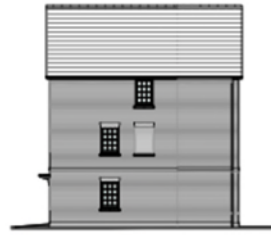


Roof Plan





HT4.3 - Georgian Village - Front Elevation  
Plan: 152/151



Side Elevation



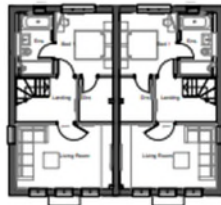
Rear Elevation



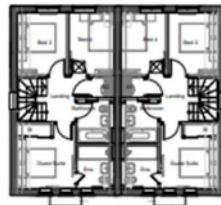
Side Elevation



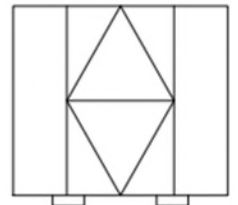
Ground Floor Plan



First Floor Plan



Second Floor Plan



Roof Plan



Site Plan



HT3.2.3 - Georgian Village - Front Elevation  
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Side Elevation



Rear Elevation



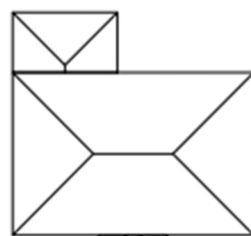
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan